

48 EAST 73RD ST., NEW YORK, NY

LANDMARKS SUBMISSION LPC-26-02603



PHOTOGRAPHS SHOWING CURRENT CONDITION OF THE BUILDING, LEFT: FRONT FAÇADE, RIGHT : REAR FAÇADES

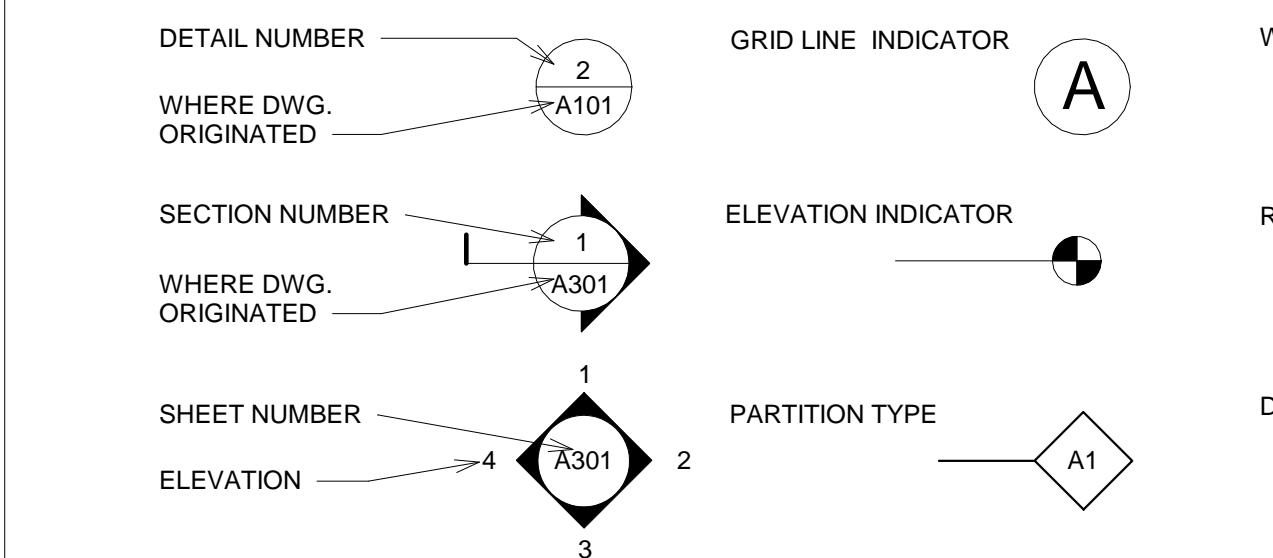
LANDMARKS SHEET LIST

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L-102.00	DEMOLITION & PROPOSED PLANS - BASEMENT
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L-204.00	PROPOSED ELEVATION - EAST
L-205.00	DEMOLITION ELEVATION - WEST
L-206.00	PROPOSED ELEVATION - WEST
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L-302.00	PROPOSED BUILDING SECTION
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L-402.00	EXISTING AND PROPOSED BUILDING APPROACH
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L-405.00	FRONT FAÇADE DETAILS, EXISTING
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L-409.00	DEMOLITION AND PROPOSED BUILDING CROSS SECTION
L-410.00	EXISTING ROOFSCAPE
L-411.00	EXISTING ROOFSCAPE
L-412.00	EXISTING ROOFSCAPE
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L-414.00	VISIBILITY ANALYSIS OF ROOF ALTERATIONS
L-415.00	MOCK-UP
L-501.00	FRENCH DOOR DETAILS
L-502.00	WOOD WINDOW DETAILS, FRONT FAÇADE
L-503.00	TYPICAL DETAILS
L-504.00	CONSTRUCTION DETAILS
L-505.00	CONSTRUCTION DETAILS
L-601.00	WINDOW & DOOR SCHEDULES
L-602.00	APPENDIX

ABBREVIATIONS

A	- ADJACENT	G	- GAUGE	R	- RADIUS
A.F.F.	- ABOVE FINISHED	GALV.	- GALVANIZED	RAD.	- RADIATOR
FLOOR		G.C.	- GENERAL CONTRACTOR	RCP.	- REFLECTED CEILING PLAN
APPD		GLS.	- GLASS	REMV.	- REMOVE
&		G.V.	- GAS VALVE	REQD.	- REQUIRED
@		GYP.BD./GWD.	- GYPSUM BOARD	RM.	- ROOM
B		H		S	
B.C.	- BY CONTRACTOR	HGT.	- HEIGHT	SECT.	- SECTION
BLDG.	- BUILDING	HR.	- HOUR	SHELV.G	- SHELVING
B.O.	- BY OWNER	INSUL.	- INSULATION	SHT.	- SHEET
C		L		SIM.	- SIMILAR
CL	- CENTER LINE	LAV.	- LAVATORY	SPEC.	- SPECIFICATION
CL.	- CLOSET	LGT.	- LIGHT	SQ. FT./S.F.	- SQUARE FEET
CLG.	- CEILING	M		S.S./ST. STEEL.	- STAINLESS STEEL
CONT.	- CONTINUOUS	MANF.	- MANUFACTURER	STD.	- STANDARD
CONC.	- CONCRETE	MAT.		STL.	- STEEL
CU/FT	- CUBIC FEET	MAX.	- MATERIAL	STOR.	- STORAGE
D	- DEPARTMENT	MECH.	- MAXIMUM	STRUCT.	- STRUCTURAL
DET.	- DETAIL	MIN.	- MECHANICAL	SQ./YD.	- SQUARE YARD
DIM.	- DIMENSION	MTL.	- MINIMUM	T	
DN.	- DOWN	N	- METAL	TBD	- TO BE DETERMINED
DR.	- DOOR	N.I.C.		TEL.	- TELEPHONE
DWG.	- DRAWING	NO.	- NOT IN CONTRACT	THK.	- THICK/THICKNESS
E	- ELEVATION	NOM.	- NUMBER	TOT.	- TOTAL
EL/ ELEV.	- ELECTRIC	N.T.S.	- NOMINAL	TYP.	- TYPICAL
ELEC.	- ENCLOSURE	O	- NOT TO SCALE	U	- UNLESS OTHERWISE NOTED
ENCL.	- ENTRANCE	O.C.		U.O.N.	
ENT.	- EQUAL	OP.G.	- ON CENTER	V	
EQ.	- EQUIPMENT	P	- OPENING	V.I.F.	- VERIFY IN FIELD
EQUIP.	- EXISTING	PART.		W	
EXIST.		PL/PLAS.	- PARTITION	WAINS.	- WAINSCOT
F	- FINISH	P.L.	- PLASTER	W.I.C.	- WALK IN CLOSET
FIN.	- FLOOR		- PROPERTY LINE		
FL/FLR.	- FIREPROOFING				
F.P.					

DRAWING CONVENTIONS



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11235
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE

DATE REVISION

PROJECT

48 East 73rd Street

TITLE

TITLE SHEET

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	12" = 1'-0"
DRAWING NO.:			

REGISTERED ARCHITECT
Daniel Kaplan
BOWERBIRD ARCHITECTS
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

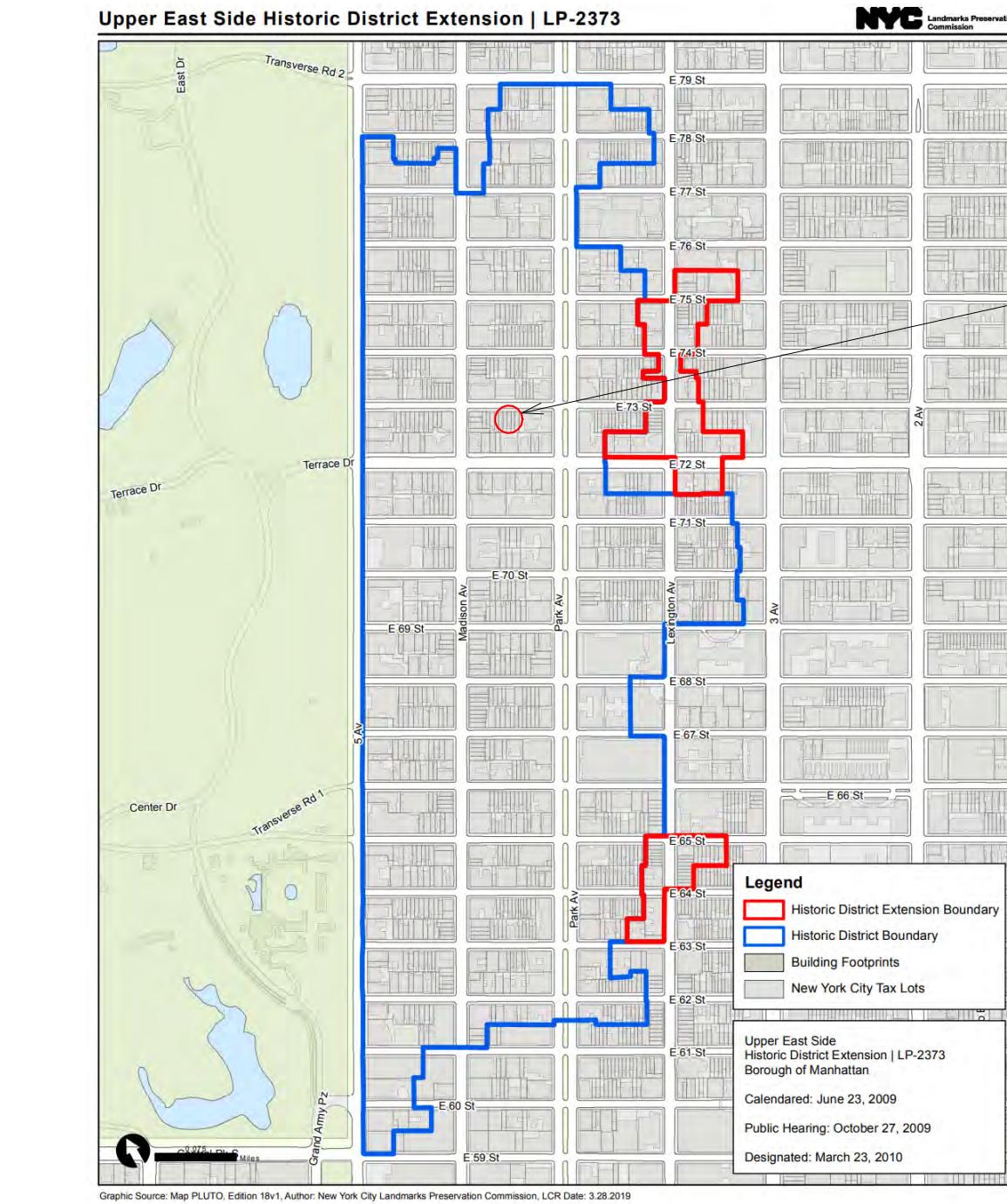
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REAR YARDS BETWEEN E 72nd ST. & E 73rd ST., MADISON AVE. & PARK AVE.



LANDMARKS MAP



48 East 73rd Street

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Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

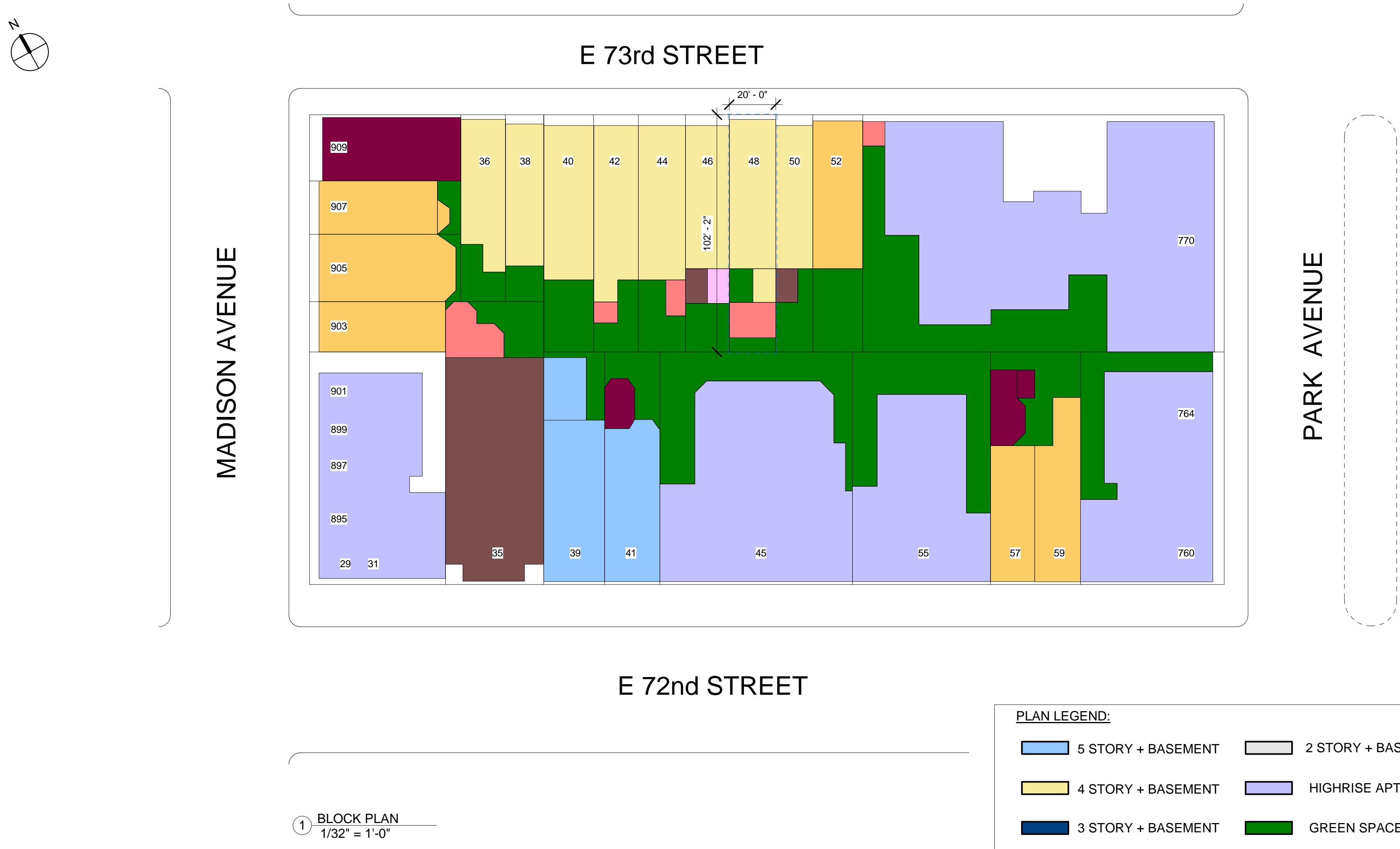
Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

PLOT PLAN: ENTIRE BLOCK BETWEEN E 72nd ST. & E 73rd ST., MADISON AVE. & PARK AVE. (FROM NYC ZOLA, GOOGLE MAPS AND PHOTOS)



LANDMARKS SUBMISSION

02.05.2025

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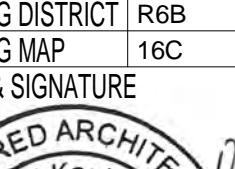
PROJECT

48 East 73rd Street

TITLE

BLOCK PLAN. LANDMARKS

MAP AND AERIAL VIEW

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
 <i>Daniel Kaplan</i>		JOB NO.:	0158
		SCALE:	As indicated
		DRAWING NO.:	

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Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
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Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
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Brooklyn, NY 11215
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Levin Engineering PLLC
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Brooklyn, NY 11235
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48 East 73rd Street

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1940s TAX PHOTO AND SITE
VISIT PHOTO

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE	2025 10 16	
	JOB NO.	0158	
	SCALE:		
	DRAWING NO.:		

REGISTERED ARCHITECT
Daniel Kaplan
No. 037717
STATE OF NEW YORK
L-003.00



48 EAST 73RD ST : 1940 TAX PHOTO



48 EAST 73RD ST : SITE VISIT PHOTO SHOWING CURRENT CONDITION

EXISTING BUILDING APPROACH



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

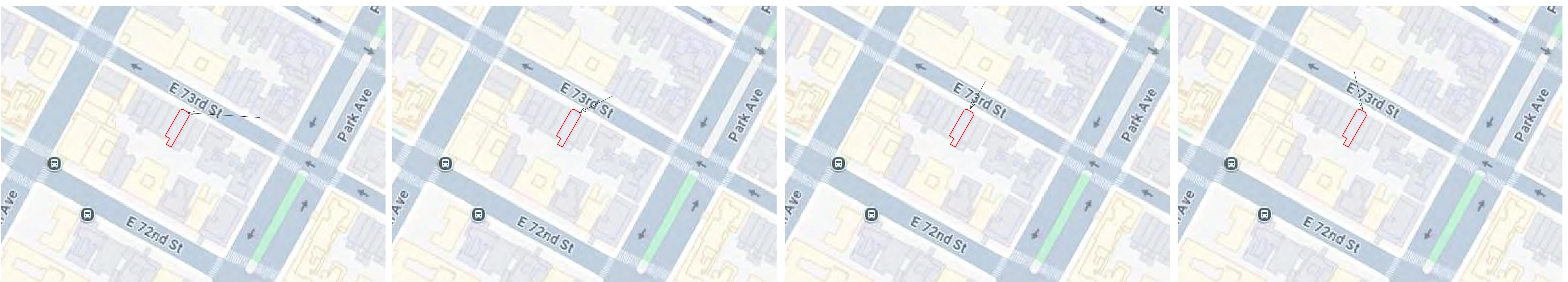
Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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PROJECT
48 East 73rd Street

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BUILDING APPROACH

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.:	0158	SCALE:	
DRAWING NO.:			

L-401.00

REGISTERED ARCHITECT
Daniel Kaplan
No. 357717
STATE OF NEW YORK

EXISTING PHOTOGRAPHS AND RENDERED VIEWS OF BUILDING APPROACH



PHOTOGRAPH OF EXISTING FRONT FAÇADE FROM EASTERN APPROACH



PHOTOGRAPH OF EXISTING FRONT FAÇADE FROM NORTH WESTERN APPROACH



RENDERING OF FRONT FAÇADE FROM EASTERN APPROACH



RENDERING OF FRONT FAÇADE FROM NORTH WESTERN APPROACH

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Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
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Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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EXISTING AND PROPOSED
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		JOB NO.	0158
		SCALE:	
		DRAWING NO.:	



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EXISTING FRONT FAÇADE



PHOTOGRAPH OF THE EXISTING FRONT FAÇADE



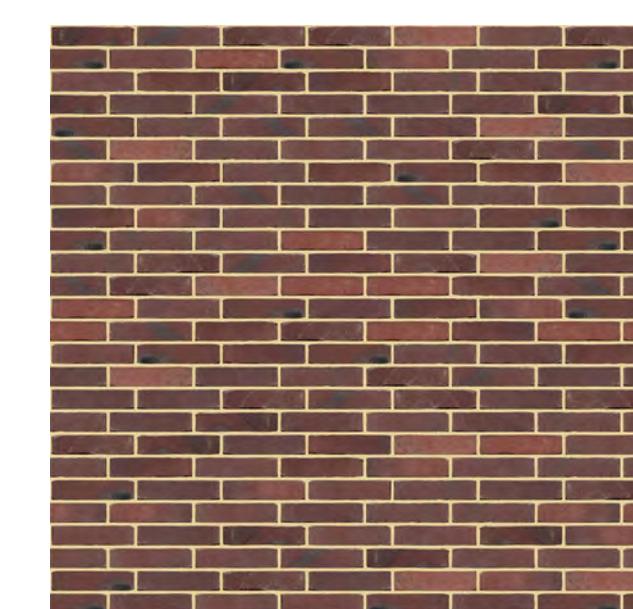
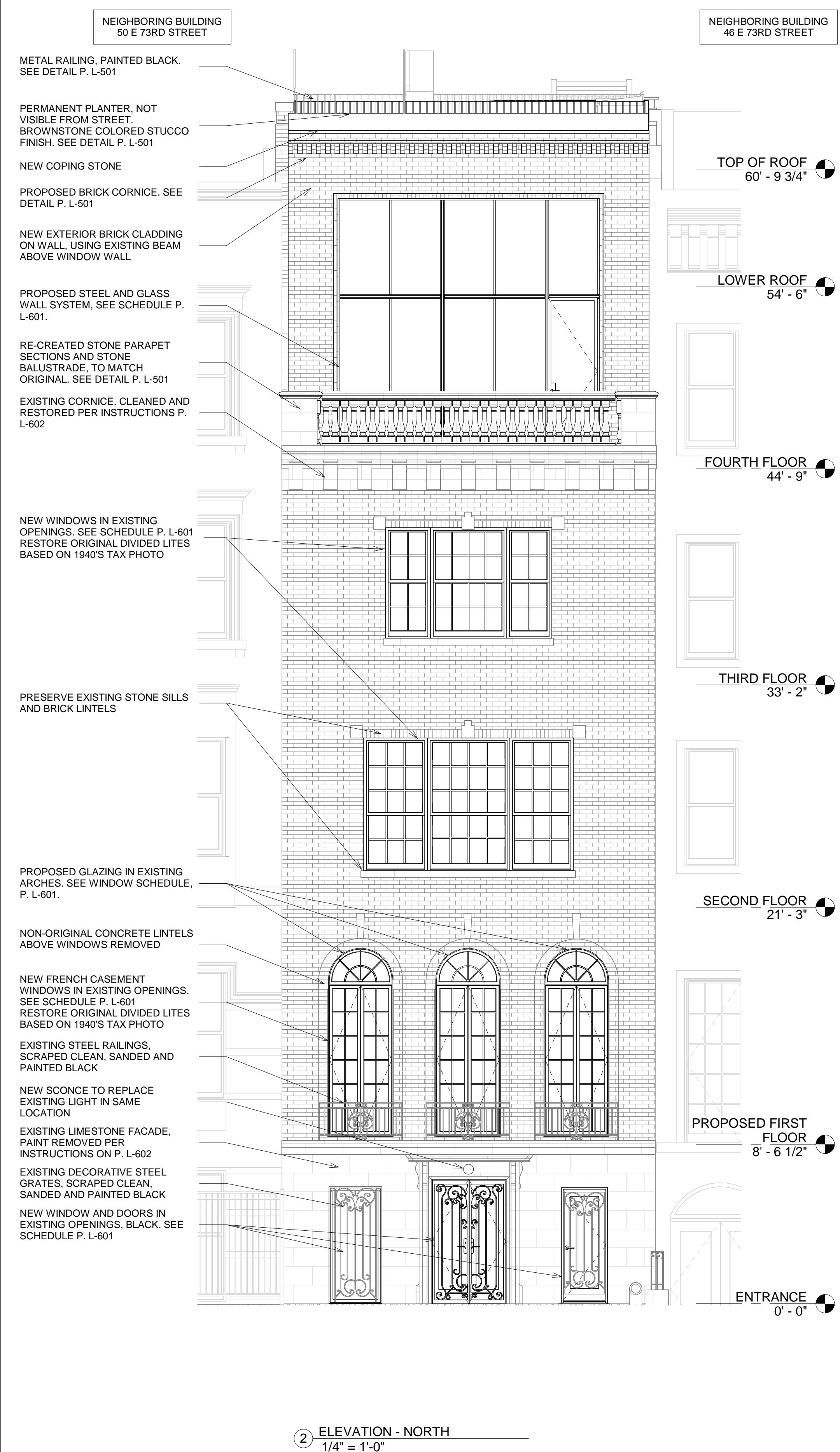
PHOTOGRAPH OF THE THIRD AND FOURTH FLOORS, FRONT FAÇADE



PHOTOGRAPH OF THE EXISTING FRONT DOOR

THE BASEMENT LEVEL AT THE FRONT FAÇADE IS LIMESTONE BENEATH WHITE PAINT.

PROPOSED FRONT FAÇADE



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Bowerbird Architects, PLLC
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Brooklyn, NY 11215
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Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

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540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

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Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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48 East 73rd Street

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ALTERATIONS TO FRONT FAÇADE

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	2025 10 16		
DATE	0158		
JOB NO.	SCALE: 1/4" = 1'-0"		
DRAWING NO.:	L-403.00		

REGISTERED ARCHITECT
Daniel Kaplan
BOWERBIRD ARCHITECTS
STATE OF NEW YORK
#37717

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GLAZING IN ARCHED WINDOWS



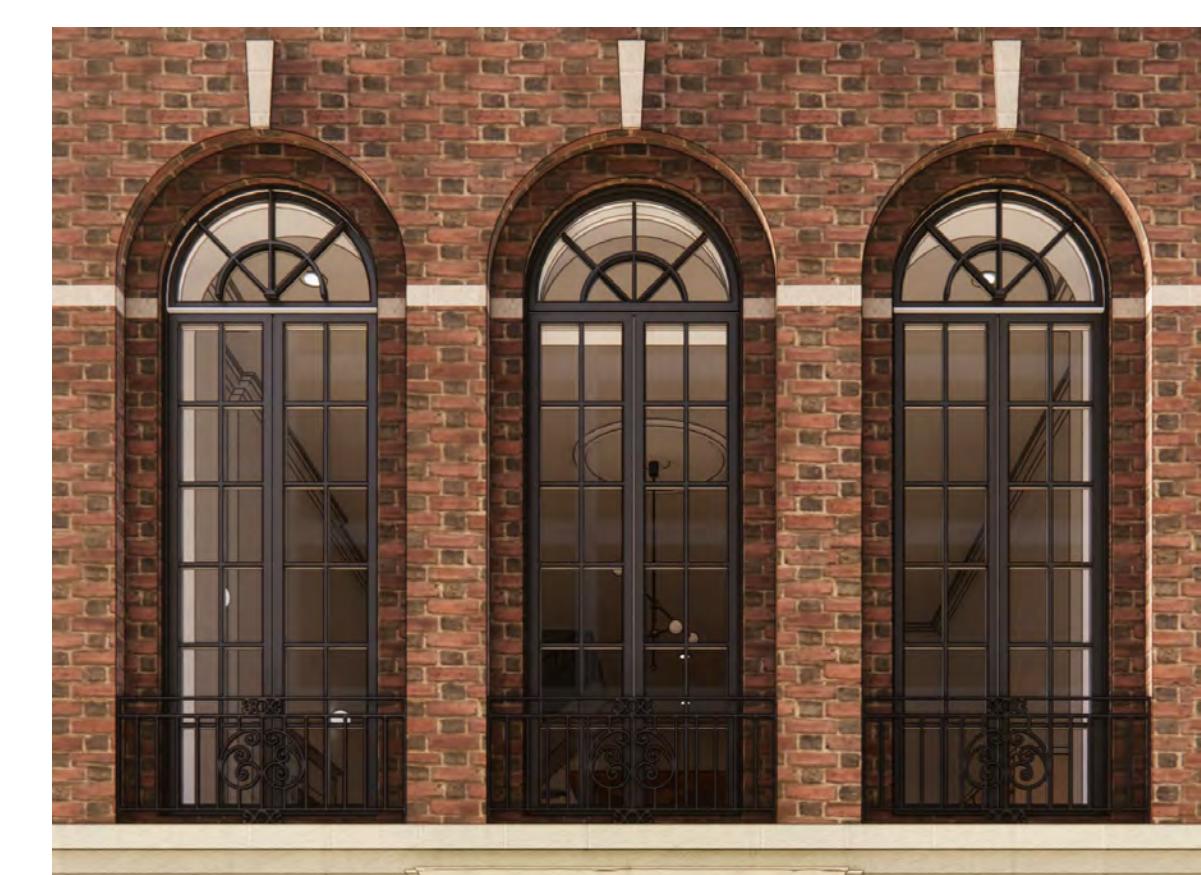
EXISTING FRONT FACADE, WITH FILLED ARCHES ABOVE FRENCH DOORS



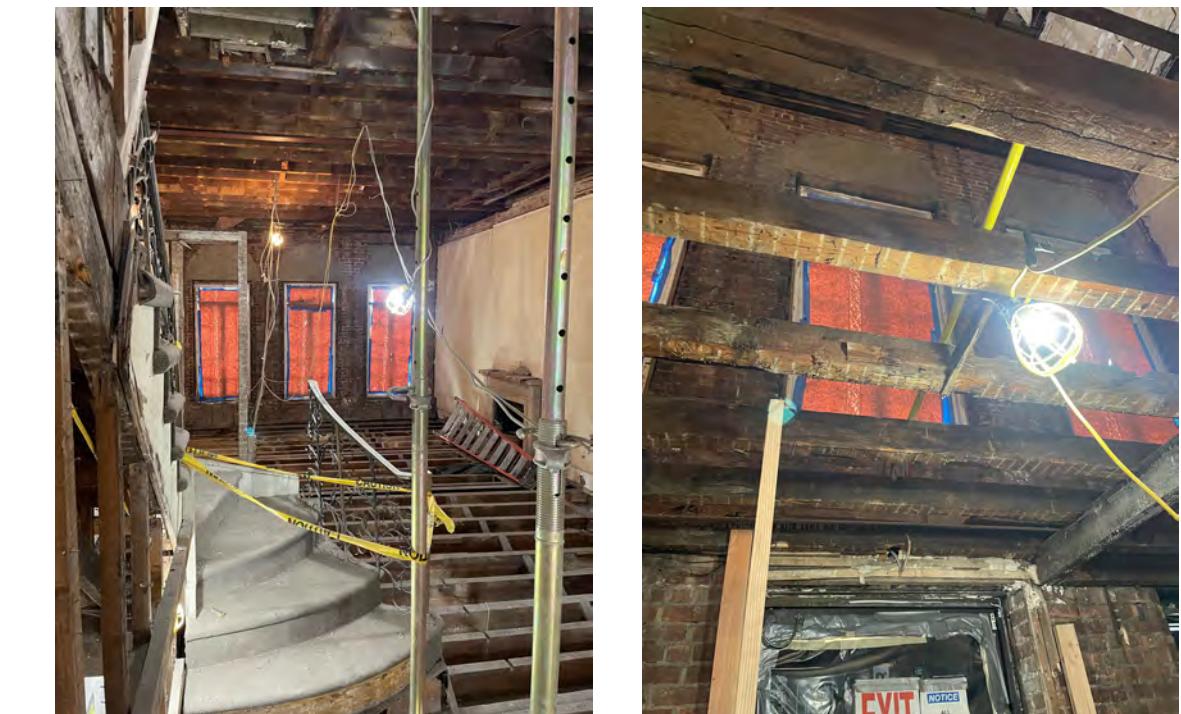
PROPOSED FRONT FACADE, WITH GLAZED ARCHES ABOVE FRENCH DOORS



EXISTING WINDOWS AT 48 EAST 73RD STREET. THE ARCHES ARE SOLID AND APPEAR TO HAVE BEEN COVERED WITH PAINT. THE HALF-ROUND LINTELS BETWEEN THE FRENCH DOORS AND ARCHES ARE NOT ORIGINAL (SEE 1940'S TAX PHOTO BELOW).



RENDERED VIEW OF THE PROPOSED WINDOWS. THE DIVISIONS IN THE FRENCH DOORS WOULD BE BROUGHT BACK TO THE SAME PATTERN AS IN THE 1940'S TAX PHOTO BY REMOVING THE TRANSOM WINDOW. ABOVE, THE NON-ORIGINAL HALF-ROUND LINTELS WOULD BE REMOVED AND THE ARCHES WOULD BE GLAZED, SIMILARLY TO THE PRECEDENTS BELOW.



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Bowerbird Architects, PLLC
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Brooklyn, NY 11215
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US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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48 East 73rd Street

TITLE

GLAZED ARCHES AND
PRECEDENTS

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
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THE PROPERTY AT 119 EAST 71ST STREET



TALL WINDOWS AT 119 EAST 71ST STREET WITH GLAZED ARCHES ABOVE.

THE ARCHITECT WHO DESIGNED THE 1916 FAÇADE OF 48 EAST 73RD STREET ALSO DESIGNED THE 1919 FAÇADE OF THE PROPERTY AT 119 EAST 71ST STREET.

THE ELEVATIONS HAVE MANY SIMILARITIES, NOTABLY THEIR SYMMETRY AND MATCHING TRIGLYPH CORNICES. THEY BOTH HAVE A WIDE CENTRAL ENTRANCE DOOR FLANKED BY TWO NARROWER OPENINGS AND THREE TALL WINDOWS ABOVE.

THE PROPOSAL FOR 48 EAST 73RD STREET WOULD REPLACE THE ARCHES ABOVE THE EXISTING FRENCH DOORS WITH ARCHED GLAZING LIKE THE WINDOWS AT 119 EAST 71ST STREET.

THE PRECEDENT SHOWS THAT GLAZING THE UPPER ARCHES WOULD BE IN KEEPING WITH THE DESIGN INTENT OF THE ORIGINAL FAÇADE. IT WOULD BE APPROPRIATE TO THE PERIOD AND STYLE OF THE BUILDING AND IS A BEAUTIFUL WAY TO REVEAL THE HEIGHT OF THE PARLOUR FLOOR CEILINGS.



THE PROPERTY AT 125 EAST 73rd STREET



THE PROPERTY AT 52 EAST 73rd STREET

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
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Brooklyn, NY 11235
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PROJECT

48 East 73rd Street

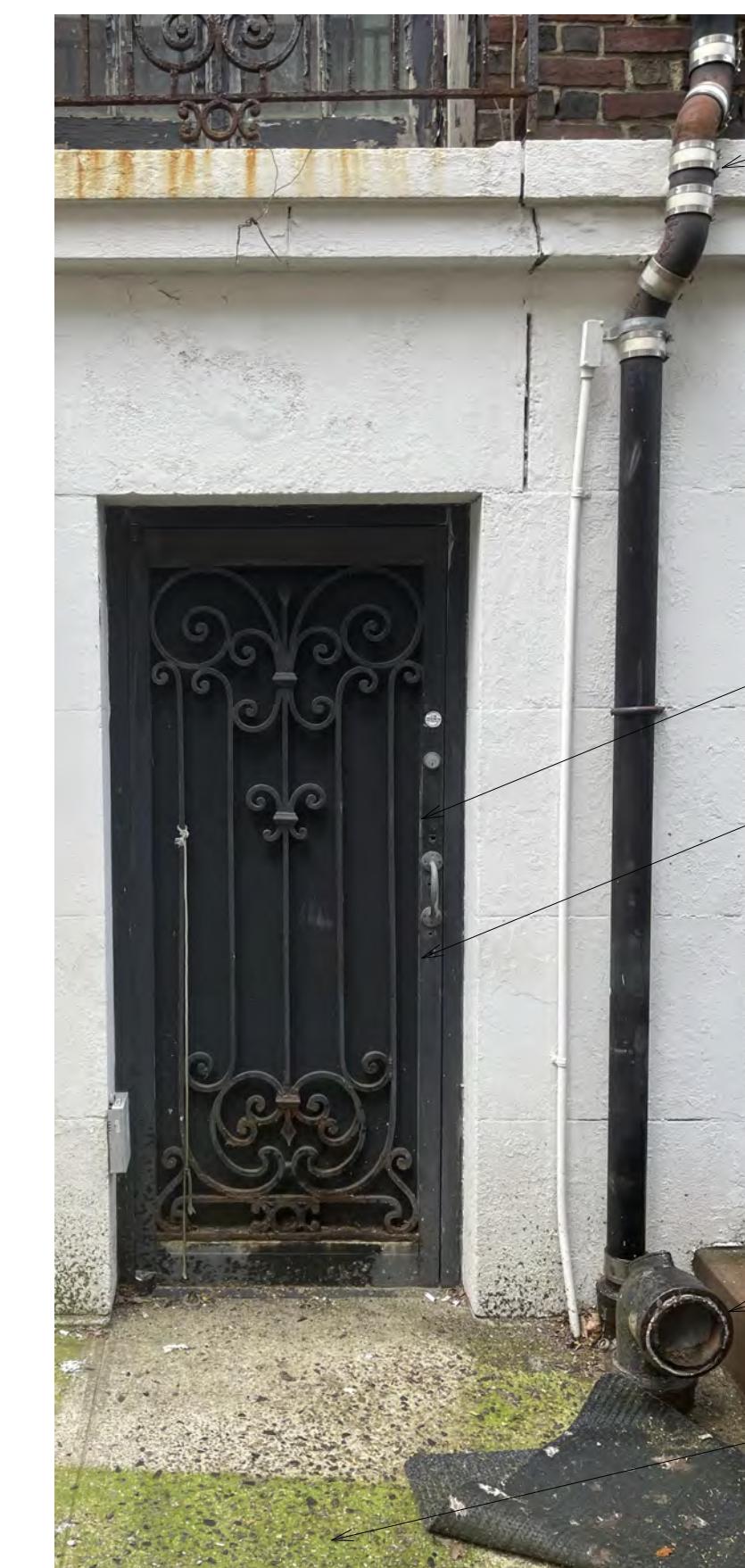
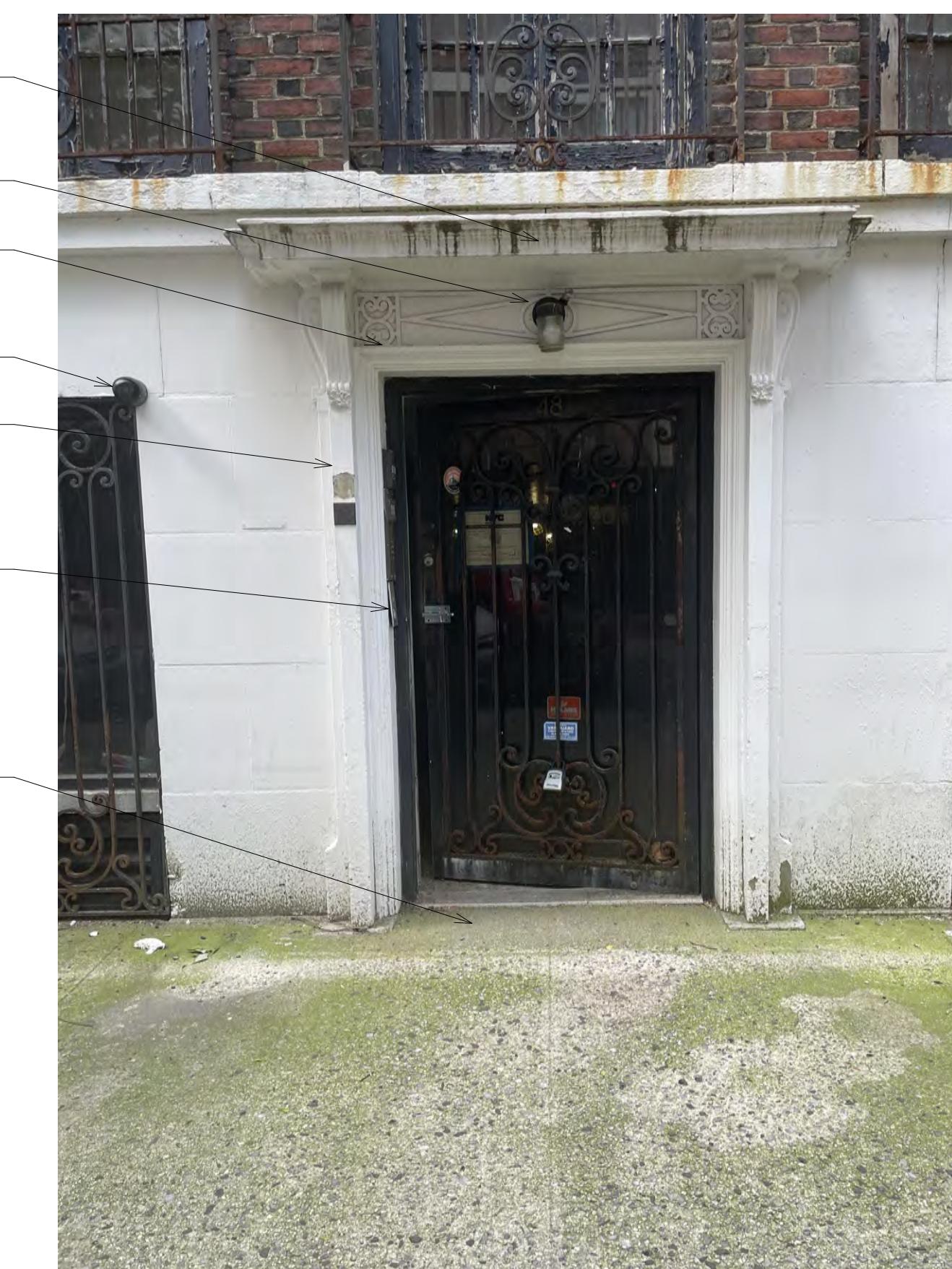
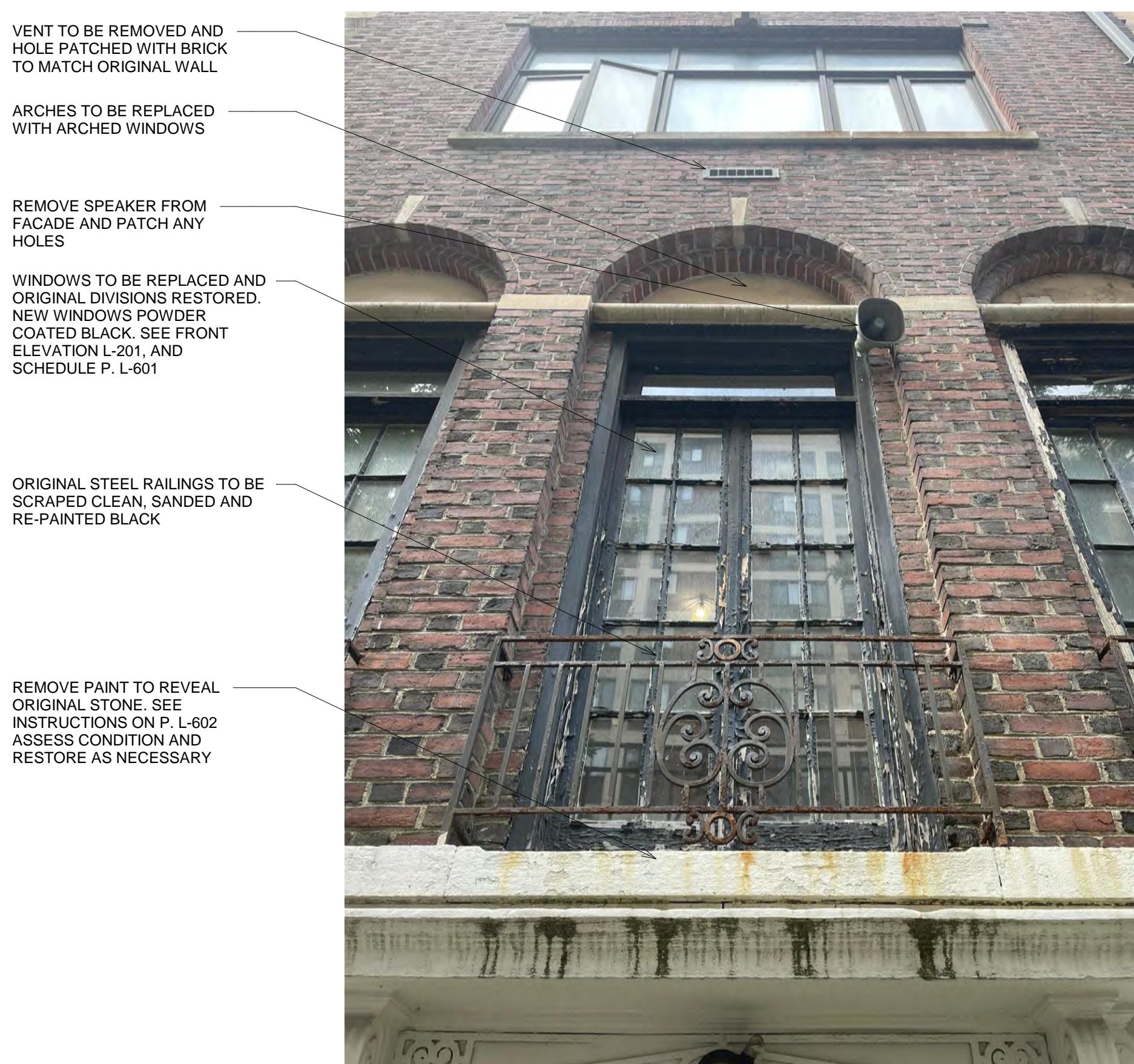
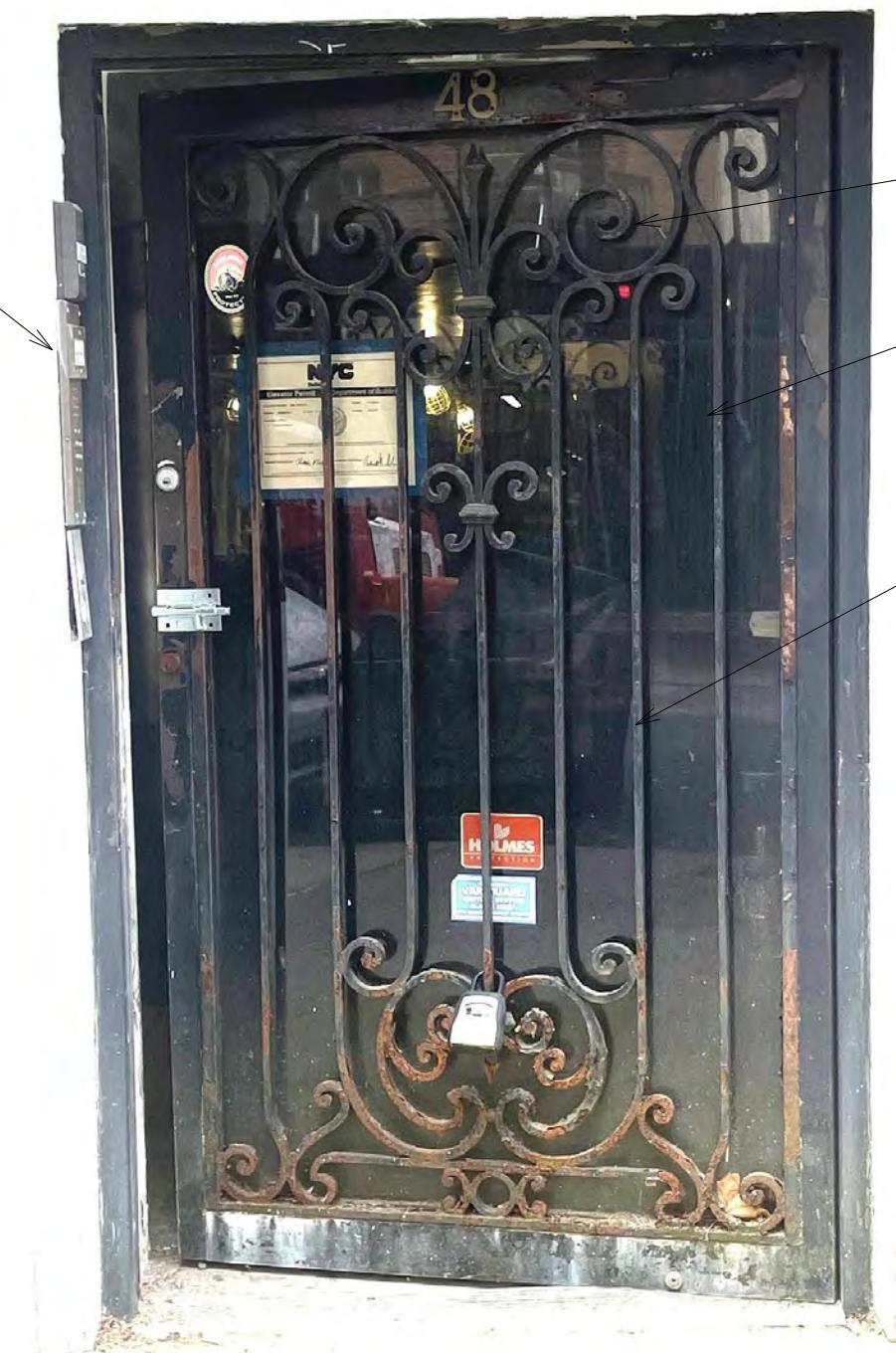
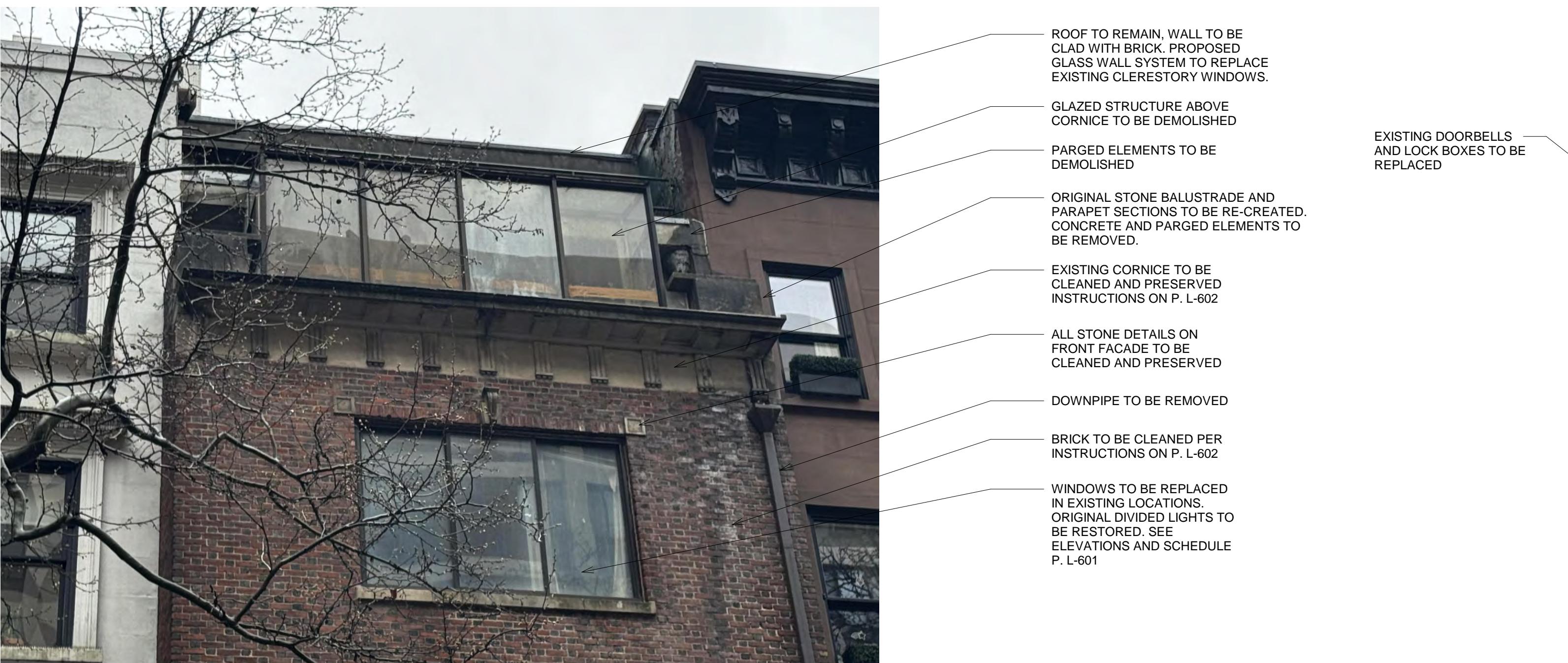
TITLE

FRONT FAÇADE DETAILS,
EXISTING

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
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RENDERED DETAIL VIEWS OF PROPOSED FRONT FACADE



FRONT BALCONY AT FOURTH FLOOR



FRONT ENTRANCE

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
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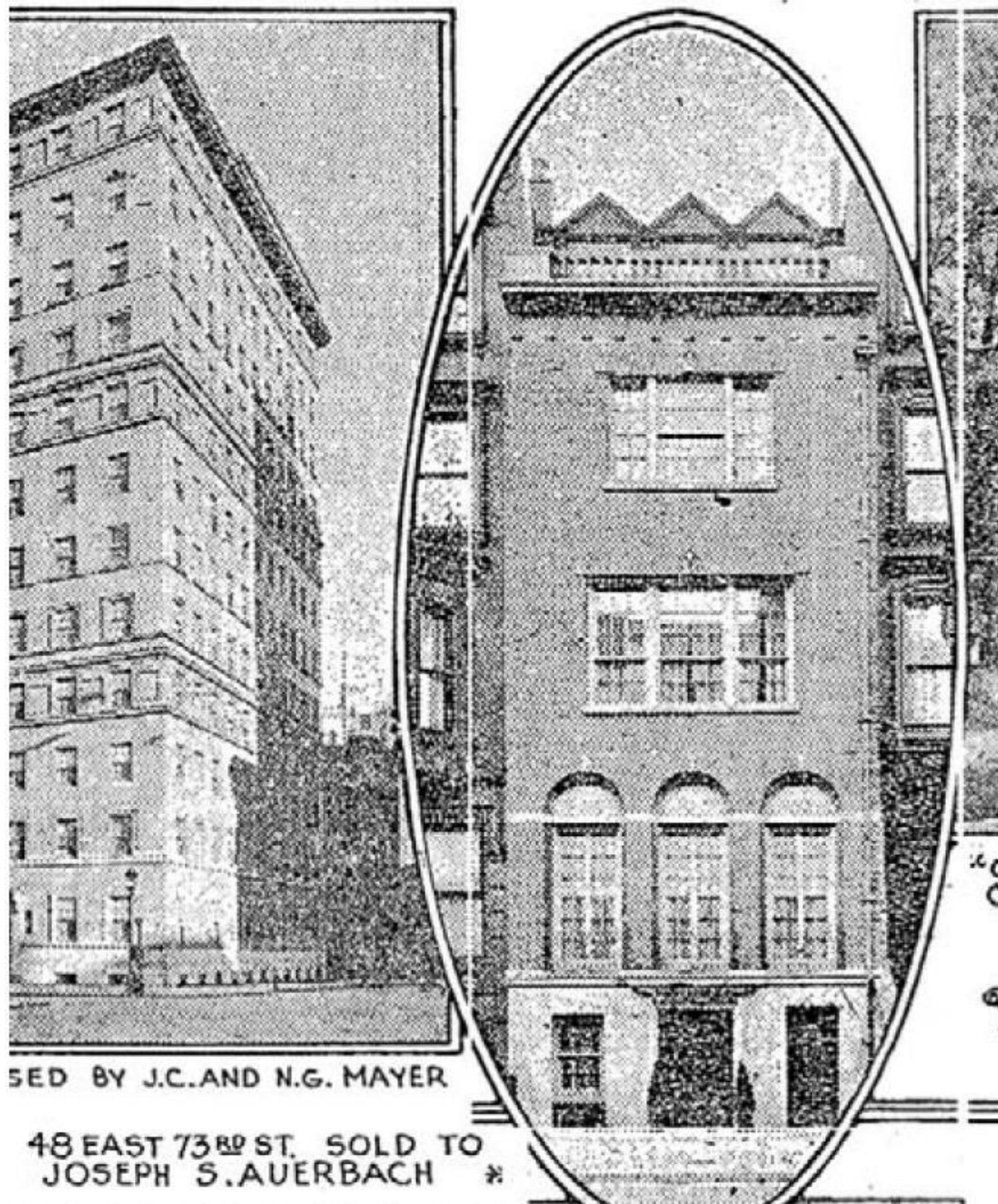
TITLE

FRONT FAÇADE DETAILS,
PROPOSED

ZONING DISTRICT	R6B	BLOCK	1387
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L-406.00

LIMESTONE BALUSTRADE



HISTORIC PHOTOGRAPHS OF THE BUILDING SHOW A STONE BALUSTRADE ABOVE THE THIRD FLOOR WINDOW. THIS BALUSTRADE HAD BEEN DEMOLISHED BEFORE 1981.



RENDERED VIEW OF THE PROPOSED STONE BALUSTRADE.
THE PROPOSAL WOULD RECREATE THE BALUSTRADE BASED ON THE 1940'S TAX PHOTO. THE PROPOSED FINISH WOULD BE STONE, TO MATCH THE ORIGINAL FAÇADE DETAILS THAT REMAIN.



THE BALUSTRADE SYSTEM WILL BE PRODUCED FROM NATURAL STONE. PHOTOGRAPH OF PROPOSED BALUSTER PROFILE, BAL 1 FROM 'ARCHITECTURAL LIMESTONE INC.' SEE IMAGES TO THE RIGHT, FROM THEIR PORTFOLIO.

Code Consultant
Reuven Kalish
reuven@professionalzoning.com

Structural Engineer
Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

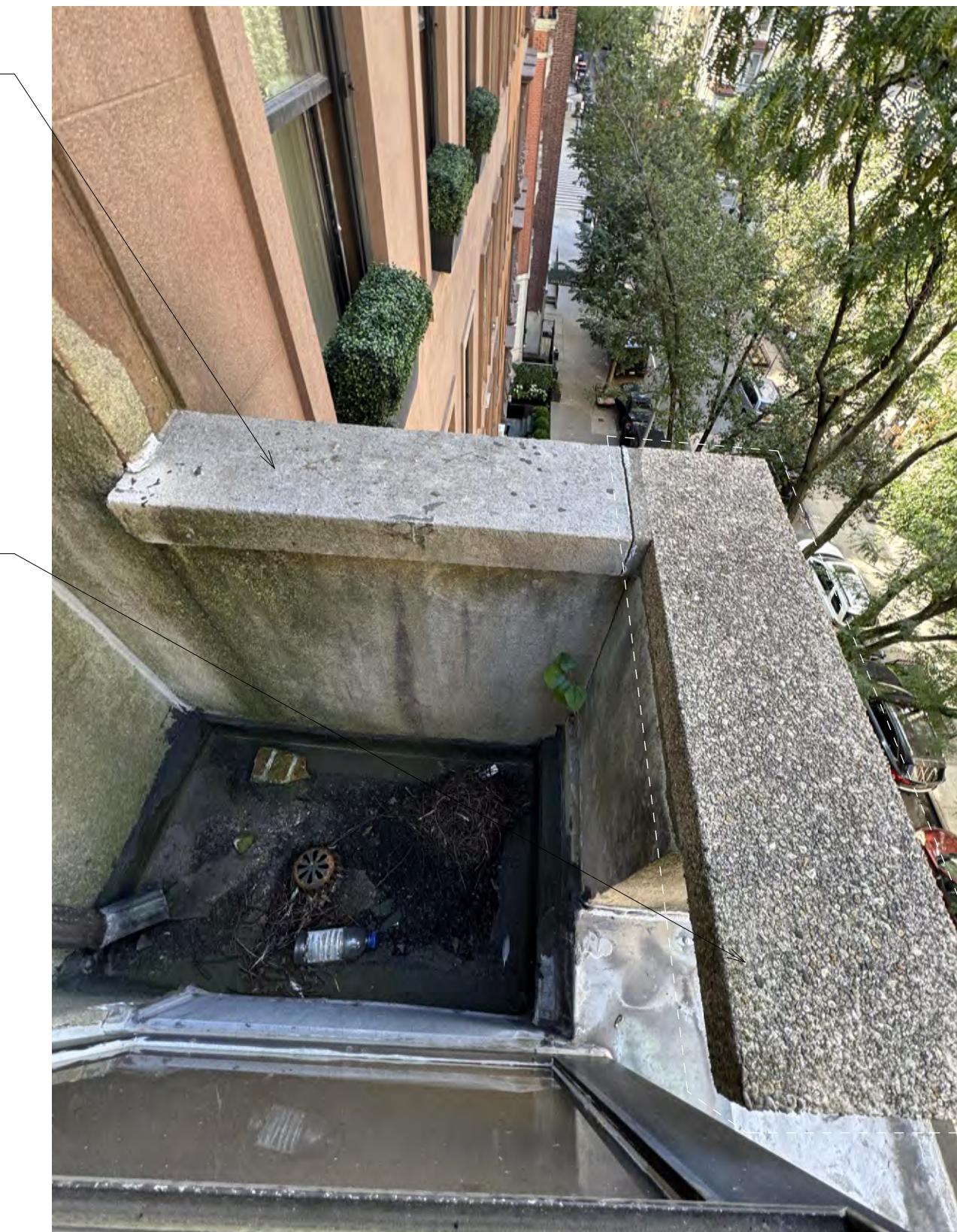
Mechanical Engineer
Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

EXISTING CONDITION

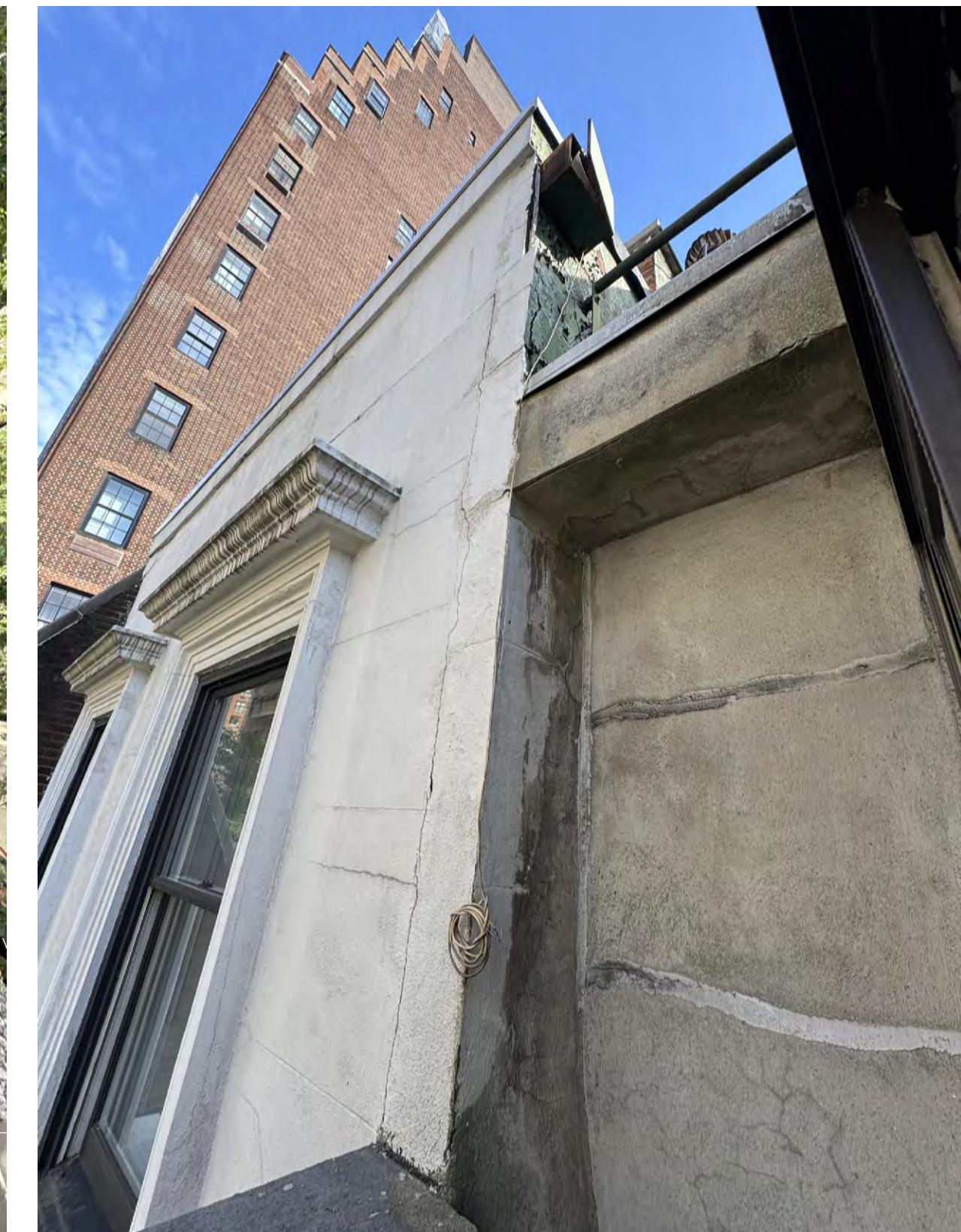


CLEAN EXISTING LIMESTONE PER INSTRUCTIONS ON L-601.00

REMOVE EXPOSED AGGREGATE CONCRETE COPING AND REPLACE WITH A STONE COPING TO MATCH THE ORIGINAL



PART OF THE ORIGINAL COPING AT THE CORNER OF THE BALUSTRADE HAS BEEN REPLACED WITH EXPOSED AGGREGATE CONCRETE. THIS WILL BE REMOVED AND REPLACED WITH A STONE COPING.



THE INTERMEDIATE ROOF STRUCTURE AND PARGED WALL WOULD BE DEMOLISHED ALONG WITH THE GLAZED STRUCTURE IN ORDER TO CREATE A BALCONY.

THE ORIGINAL BALUSTRADE WAS REMOVED WHEN A GLAZED ADDITION WAS BUILT IN 1979. THE ADDITION IS IN POOR CONDITION. THIS PROPOSAL WOULD RE-CREATE THE ORIGINAL BALUSTRADE AND SET BACK THE GLAZED AREA SO THAT IT'S LESS DOMINANT ON THE FRONT FAÇADE.

DATE	REVISION

PROJECT
48 East 73rd Street

TITLE
STONE BALUSTRADE

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE:	
DRAWING NO.:			

REGISTERED ARCHITECT
Daniel Kaplan
S-037717
STATE OF NEW YORK

L-407.00

48 East 73rd Street

NEW YORK, NY 10021

EXISTING REAR FAÇADE

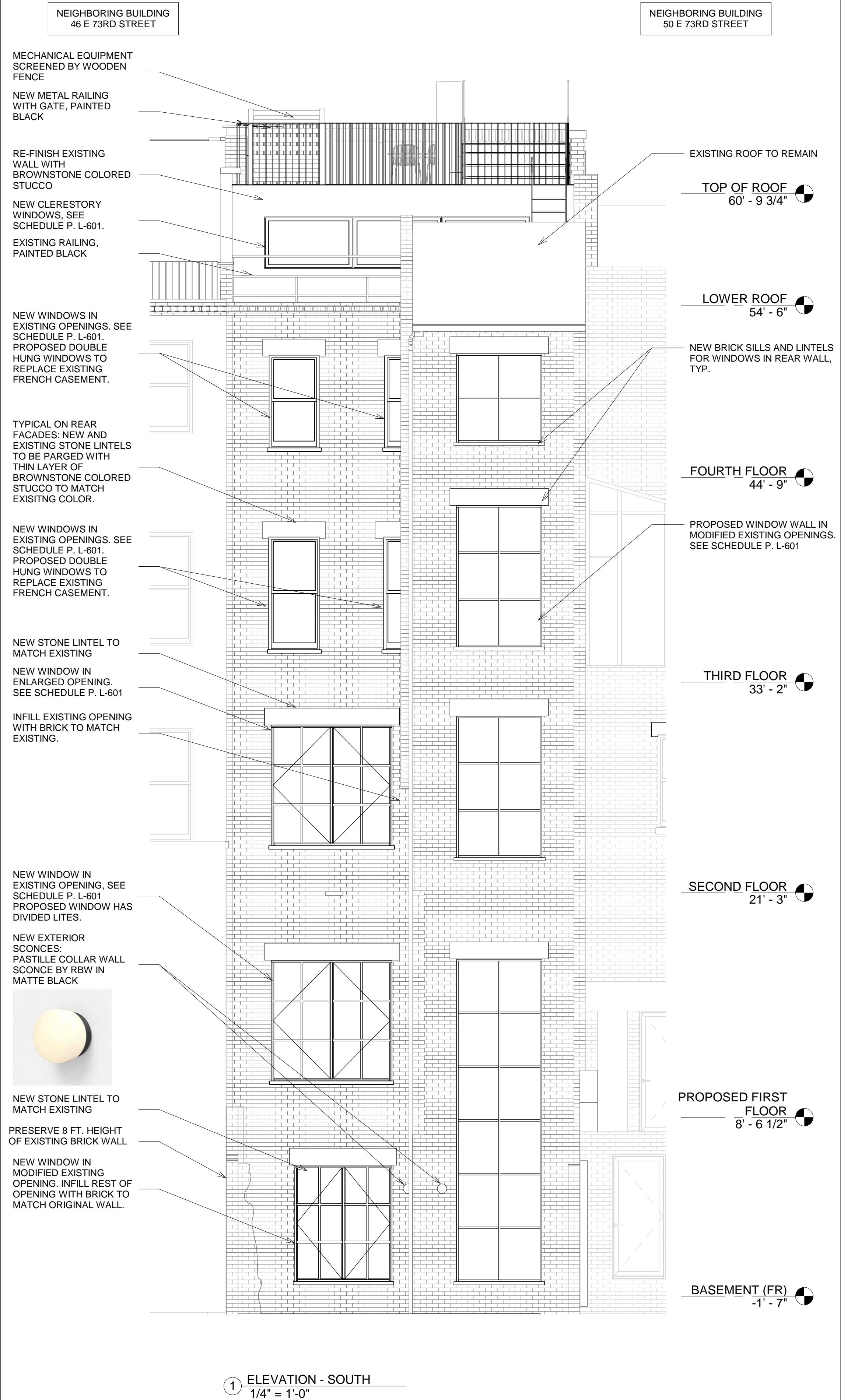


PHOTOGRAPH OF EXISTING REAR FACADES



EXISTING BRICK TO REMAIN. BRICK TO BE CLEANED
THROUGHOUT, PER INSTRUCTIONS ON P. L-602

PROPOSED REAR FAÇADE



RENDERED VIEW OF PROPOSED REAR FACADES



RENDERED VIEW OF PROPOSED REAR FACADES



PROPOSED STEEL AND GLASS WINDOW SYSTEMS,
THERMALLY BROKEN, TO BE POWDER COATED BLACK.
PROPOSED MARVIN WINDOWS TO BE WOOD INTERIOR AND
EXTERIOR, PAINTED BLACK ON THE OUTSIDE. DIVIDED LITES
TO BE SIMULATED DIVIDED LITES WITH SPACER BARS.

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

48 East 73rd Street

TITLE

ALTERATIONS TO REAR
FAÇADE

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
		JOB NO.	0158
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

L-408.00

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

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reuven@professionalzoning.com

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540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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02.05.2025

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DATE	REVISION

PROJECT

48 East 73rd Street

TITLE

DEMOLITION AND PROPOSED BUILDING CROSS SECTION

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE 2025 10 16		
JOB NO.:	0158		
SCALE:	1/4" = 1'-0"		
DRAWING NO.: L-409.00			

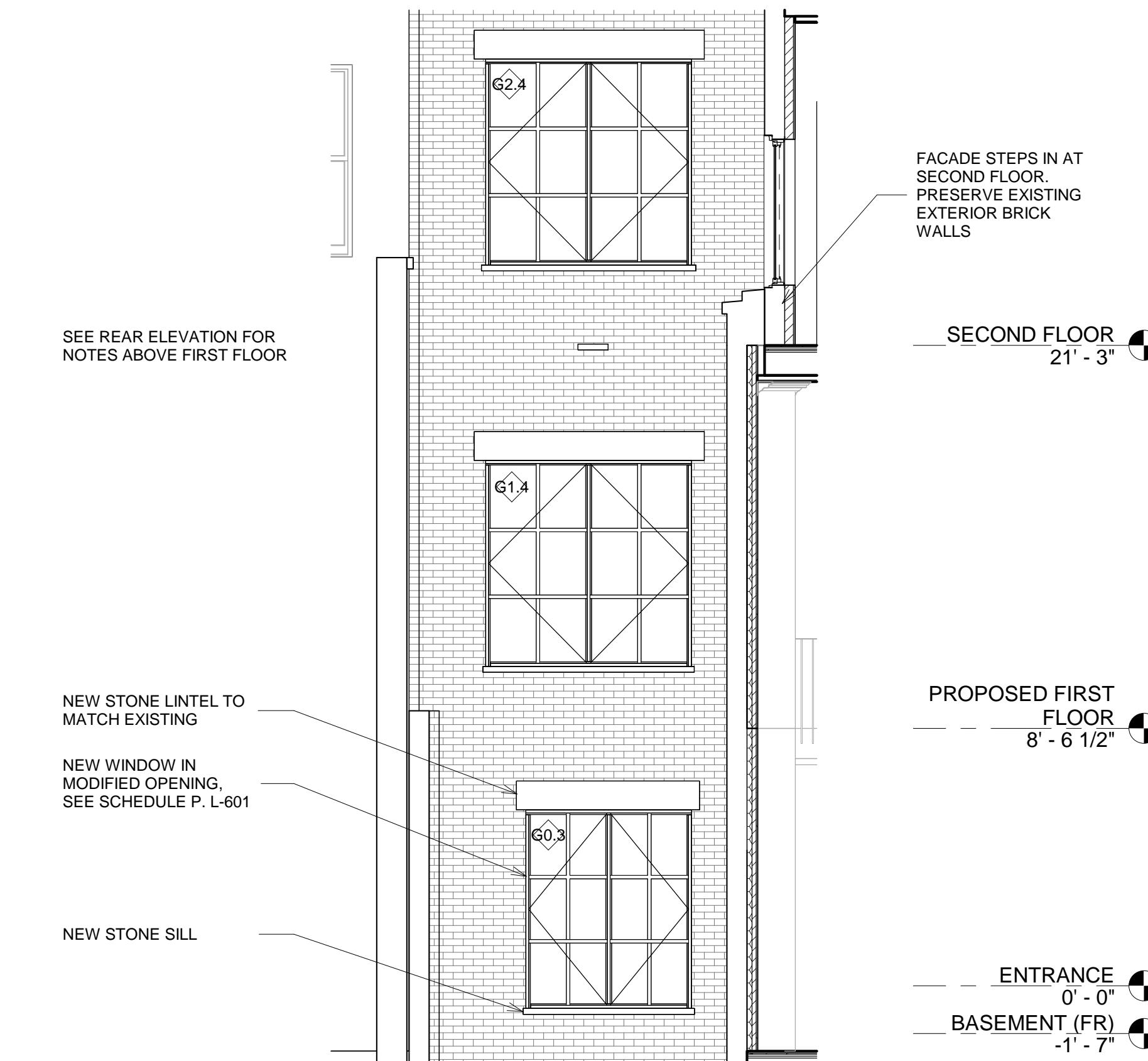
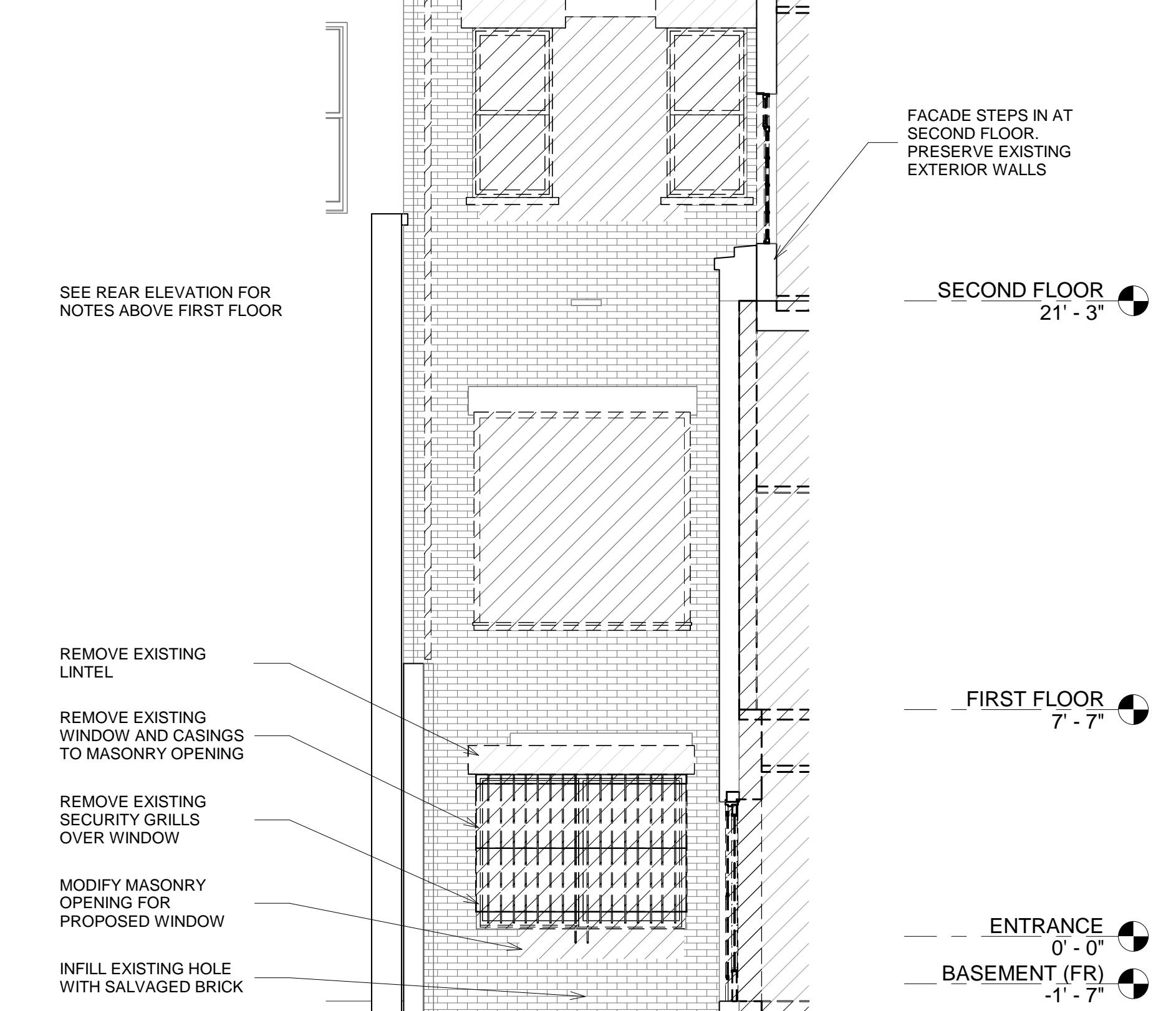


REGISTERED ARCHITECT
Daniel Kaplan
STATE OF NEW YORK
#037717



PHOTOGRAPH OF THE EXISTING WINDOW IN REAR COURTYARD.
THE PROPOSAL WOULD MODIFY THE WINDOW OPENING. EXISTING BRICK INDICATES THAT THE
OPENING HAS BEEN PREVIOUSLY MODIFIED FROM THE ORIGINAL.

DEMOLITION SECTION THROUGH
COURTYARD
1/4" = 1'-0"



PROPOSED SECTION THROUGH
COURTYARD
1/4" = 1'-0"

ROOFSCAPE

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

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DATE	REVISION

PROJECT

48 East 73rd Street

TITLE

EXISTING ROOFSCAPE

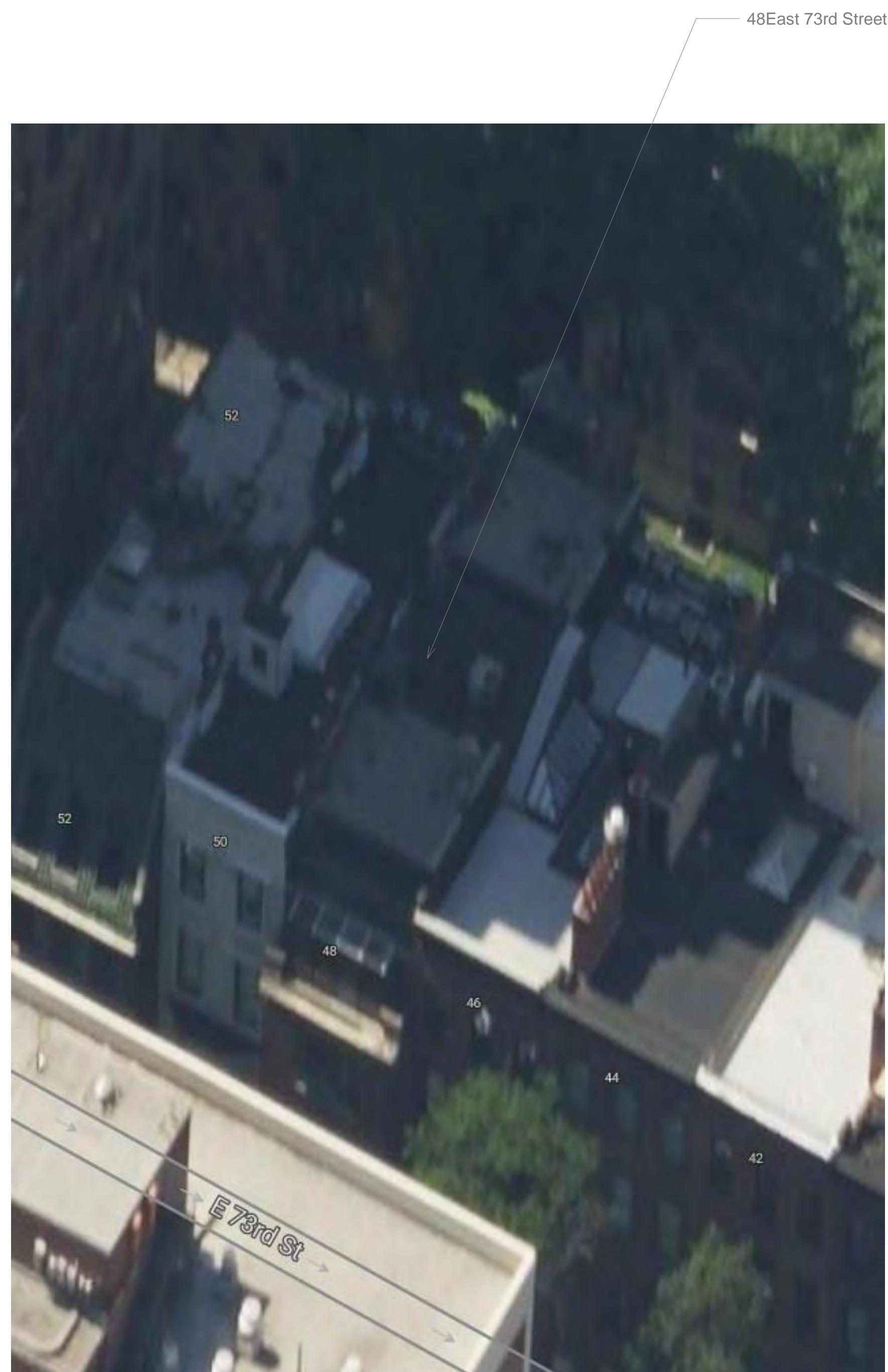
ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE 2025 10 16		
JOB NO.:		SCALE:	0158
DRAWING NO.:		L-410.00	



Daniel Kaplan
STATE OF NEW YORK
#037717



GOOGLE MAPS LOOKING SOUTH



BING MAPS LOOKING SOUTH



BING MAPS LOOKING EAST

PHOTOGRAPHS OF EXISTING ROOF



VIEW OF LOWER ROOF LOOKING TOWARDS REAR OF BUILDING AND BACKS OF BUILDINGS ON PARK AVE. AND EAST 72ND STREET



VIEW FROM LOWER ROOF TOWARDS EAST 73RD STREET, SHOWING UPPER FRONT ROOF



EXISTING SHAFT ACCESS BULKHEAD



EXISTING CLERESTORY WINDOWS AND VIEW OF PARTY WALL ALONG THE PROPERTY LINE SHARED WITH 46 EAST 73RD. THERE IS A BULKHEAD ON THE NEIGHBORING ROOF BEHIND THE BLACK PAINTED WALL.

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

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DOB EXAMINER - SEAL & SIGNATURE

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PROJECT

48 East 73rd Street

TITLE

EXISTING ROOFSCAPE

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE	2025 10 16	
	JOB NO.	0158	SCALE:
			DRAWING NO.:

L-411.00

REGISTERED ARCHITECT
Daniel Kaplan
#37717
STATE OF NEW YORK

ROOFSCAPE

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

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PROJECT

48 East 73rd Street

TITLE

EXISTING ROOFSCAPE

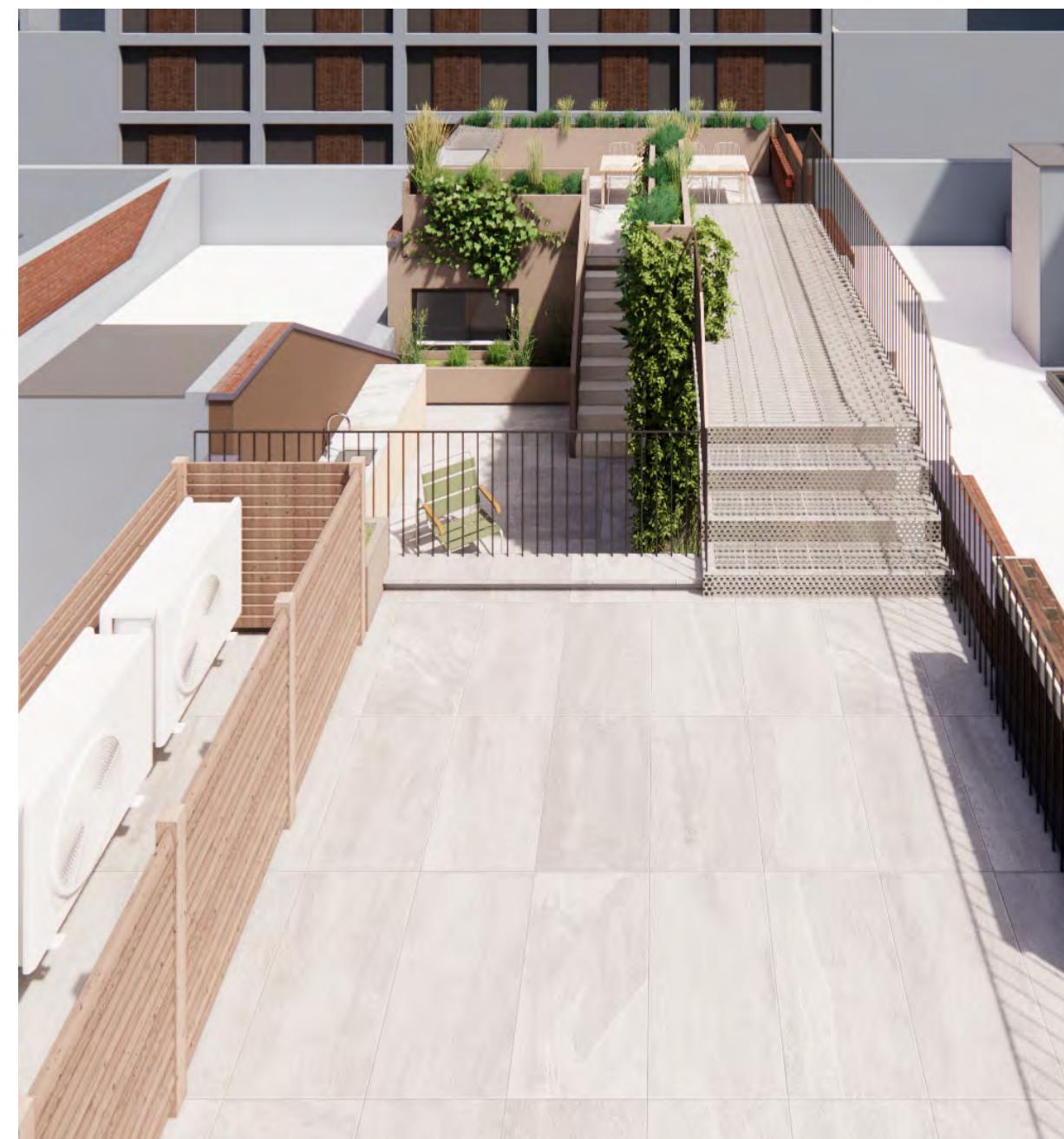
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ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.:	0158	SCALE:	
DRAWING NO.:			

REGISTERED ARCHITECT
Daniel Kaplan
No. 357717
STATE OF NEW YORK

L-412.00

RENDERED VIEWS OF PROPOSED ROOFSCAPE

NOTE: NO PART OF THE ROOFSCAPER SHALL BE VISIBLE FROM A PUBLIC WAY.



BIRD'S EYE VIEW, FROM REAR TOWARDS EAST 73RD STREET



BIRD'S EYE VIEW, FROM NORTH WEST



VIEW FROM LOWER TERRACE TOWARDS BULKHEAD

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

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48 East 73rd Street

TITLE

PROPOSED ROOFSCAPE

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ZONING MAP	16C	LOT	45
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DRAWING NO.:			

REGISTERED ARCHITECT
Daniel Kaplan
124 9th Street
Brooklyn, NY 11215
Tel: 917.447.7855
STATE OF NEW YORK
L-413.00

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

48 East 73rd Street

TITLE

VISIBILITY ANALYSIS OF
ROOF ALTERATIONS

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/8" = 1'-0"
DRAWING NO.	L-414.00		

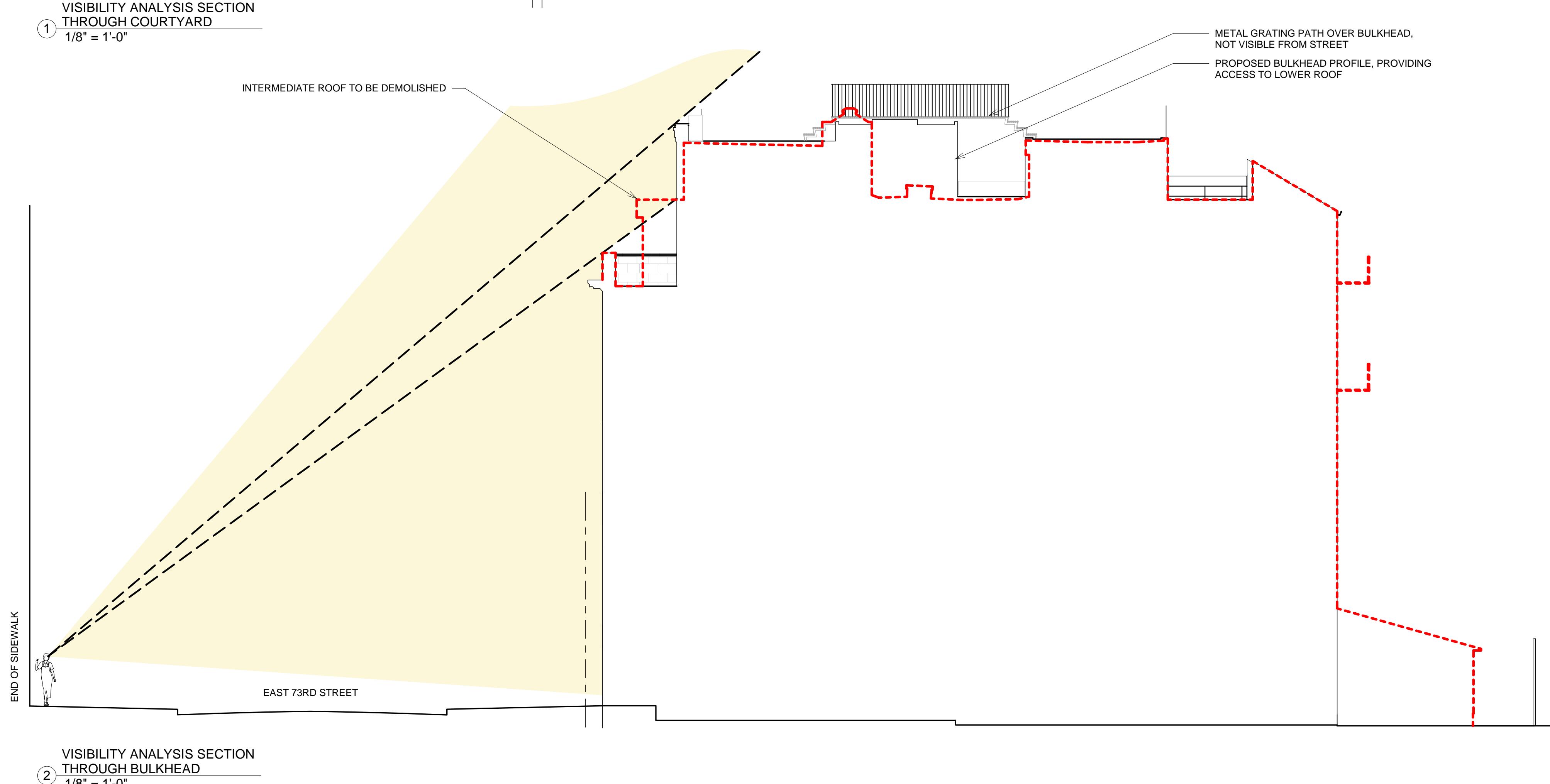
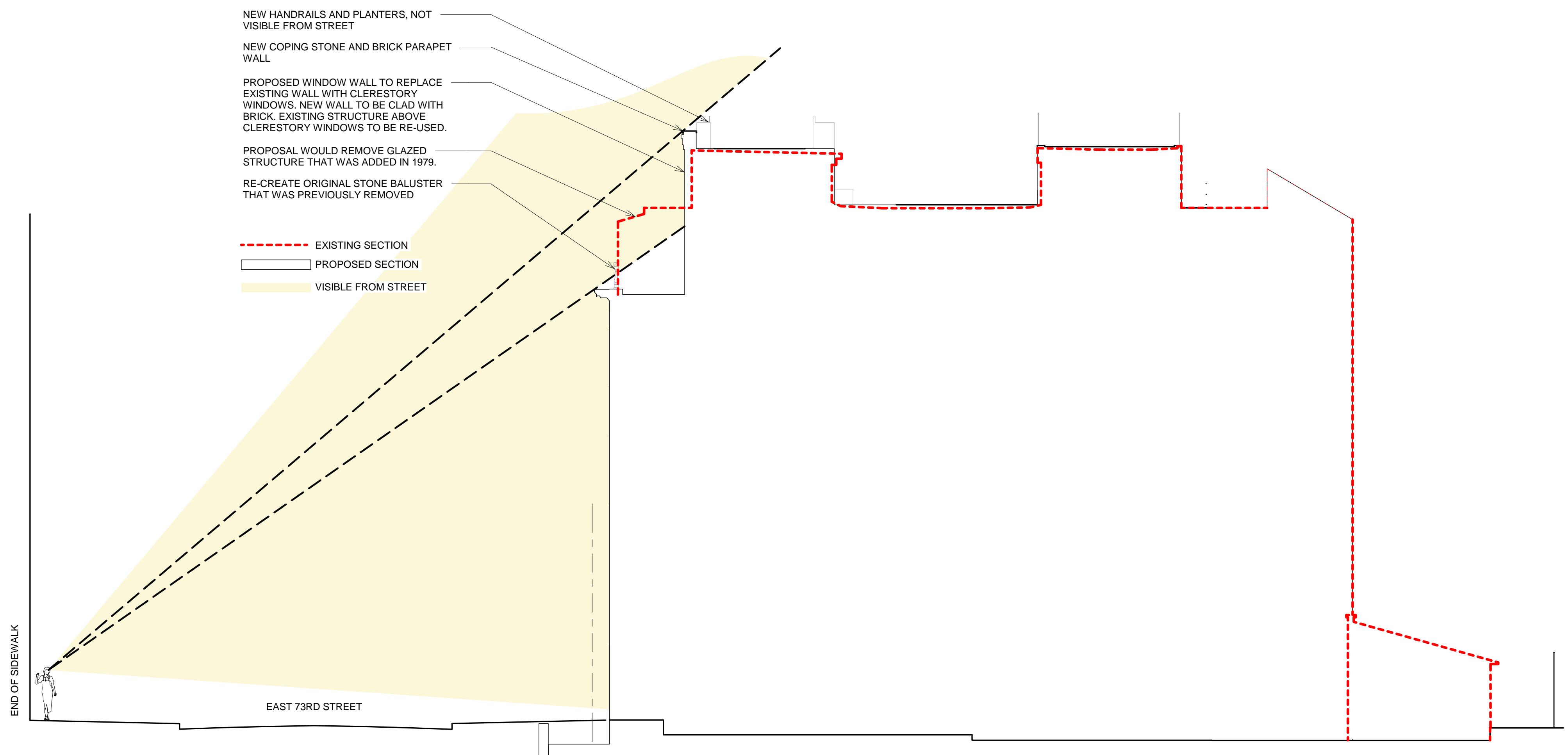


REGISTERED ARCHITECT
Daniel Kaplan
124 9th Street
Brooklyn, NY 11215
Tel: 917.447.7855

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PHOTOGRAPHS OF EXISTING VIEW FROM ACROSS E 73RD STREET



BUILDING APPROACH SHOWN WITH MOCK-UP



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

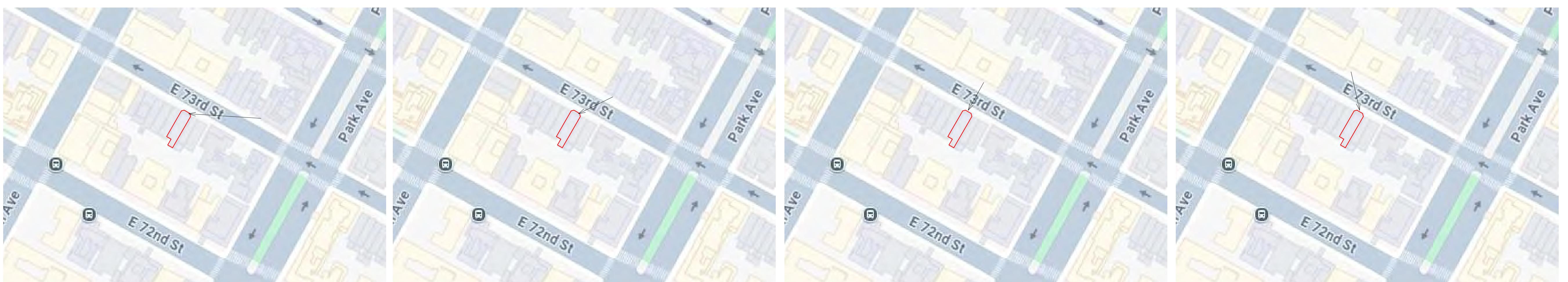
Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE



DATE	REVISION

PROJECT
48 East 73rd Street

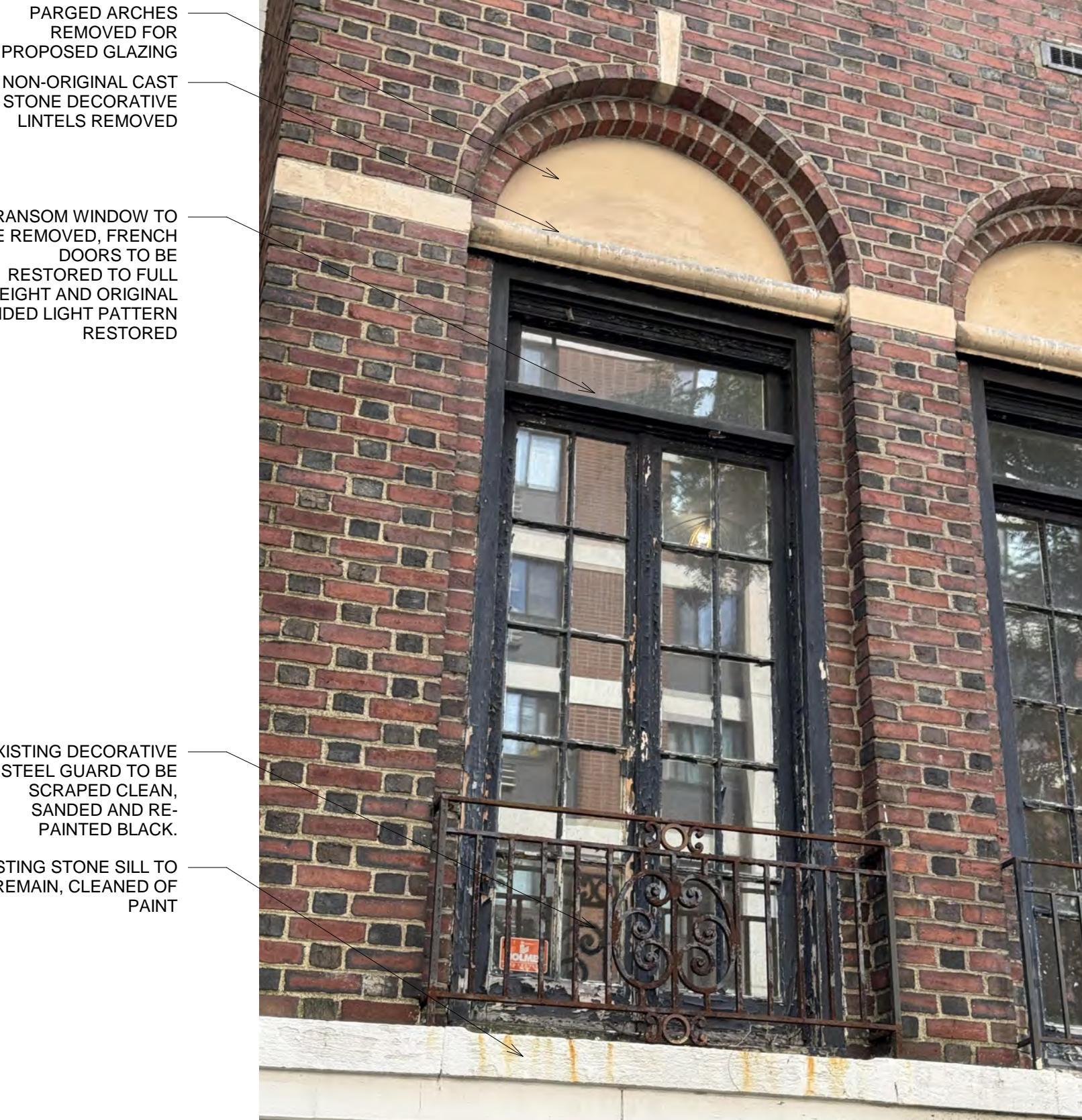
TITLE
MOCK-UP

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.:	0158	SCALE:	
DRAWING NO.:			

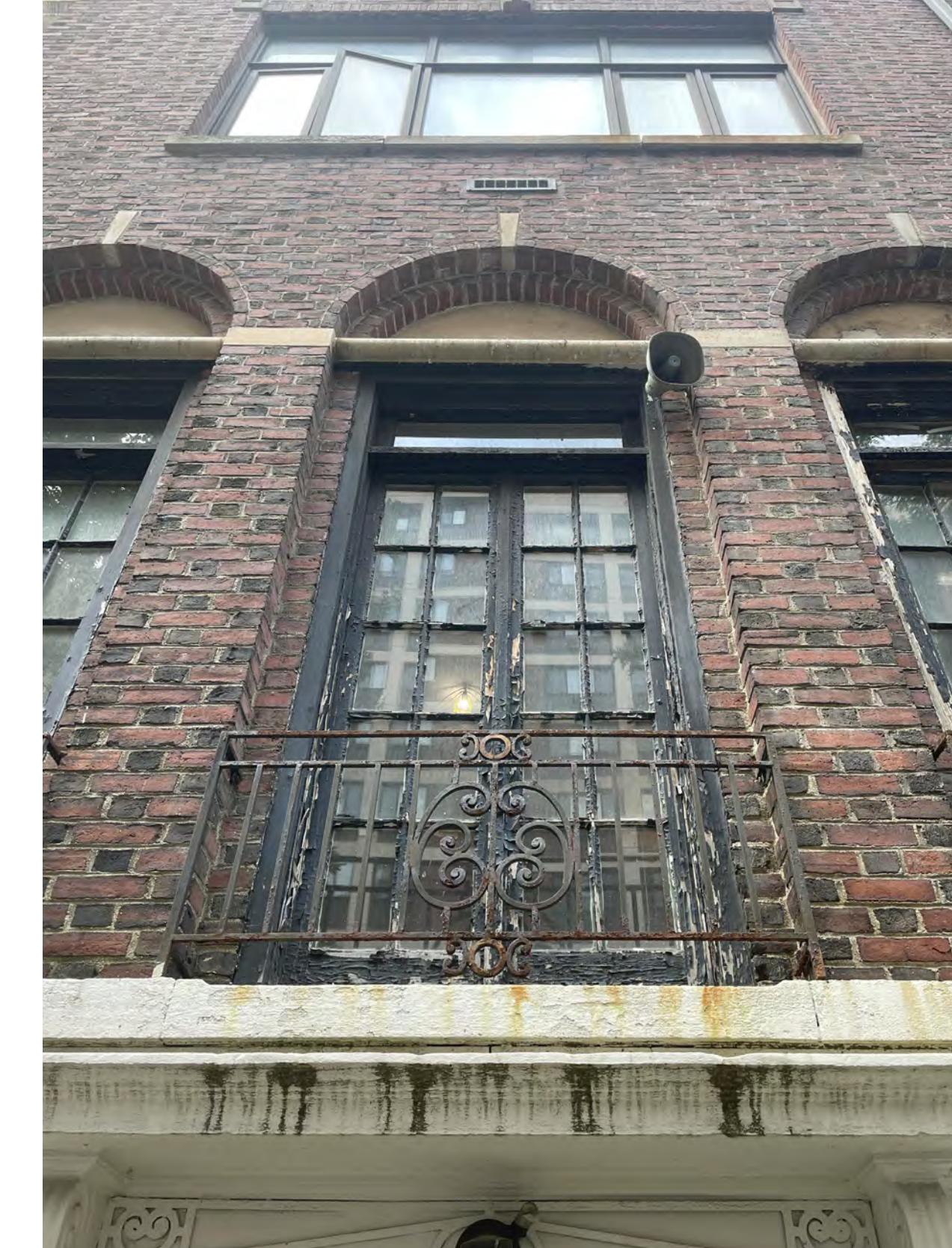
L-415.00

REGISTERED ARCHITECT
Daniel Kaplan
No. 35771
STATE OF NEW YORK

FRONT FAÇADE, FRENCH DOOR DETAILS



PHOTOGRAPH OF LEFT SET OF EXISTING FRENCH DOORS ON FRONT FAÇADE

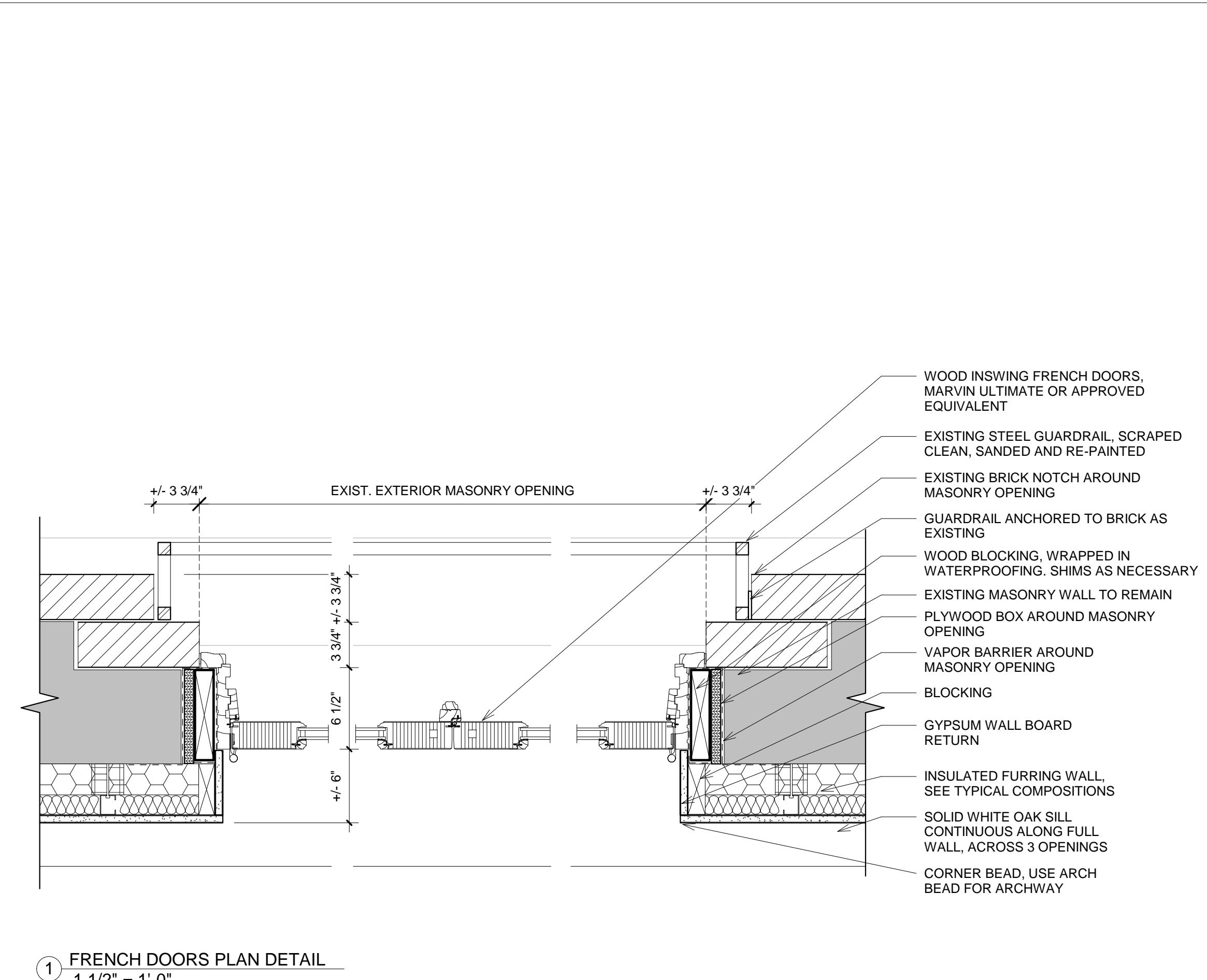


PHOTOGRAPH OF CENTRAL SET OF EXISTING FRENCH DOORS ON FRONT FAÇADE

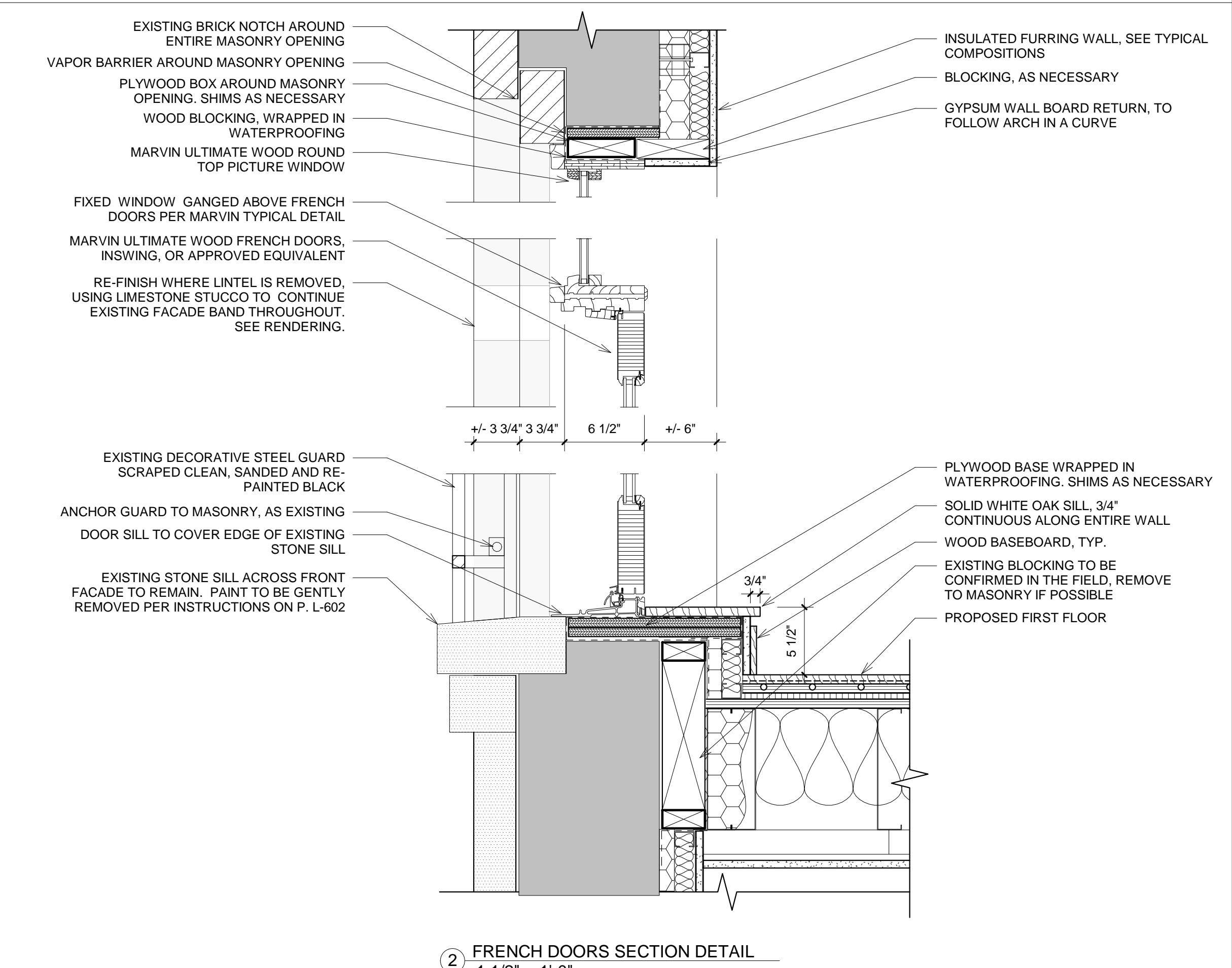


RENDERED VIEW OF PROPOSED FRONT FAÇADE SHOWING FRENCH DOORS

PROPOSED FRENCH DOOR REPLACEMENT DETAILS



1 FRENCH DOORS PLAN DETAIL
1 1/2" = 1'-0"



2 FRENCH DOORS SECTION DETAIL
1 1/2" = 1'-0"

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

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48 East 73rd Street

TITLE

FRENCH DOOR DETAILS

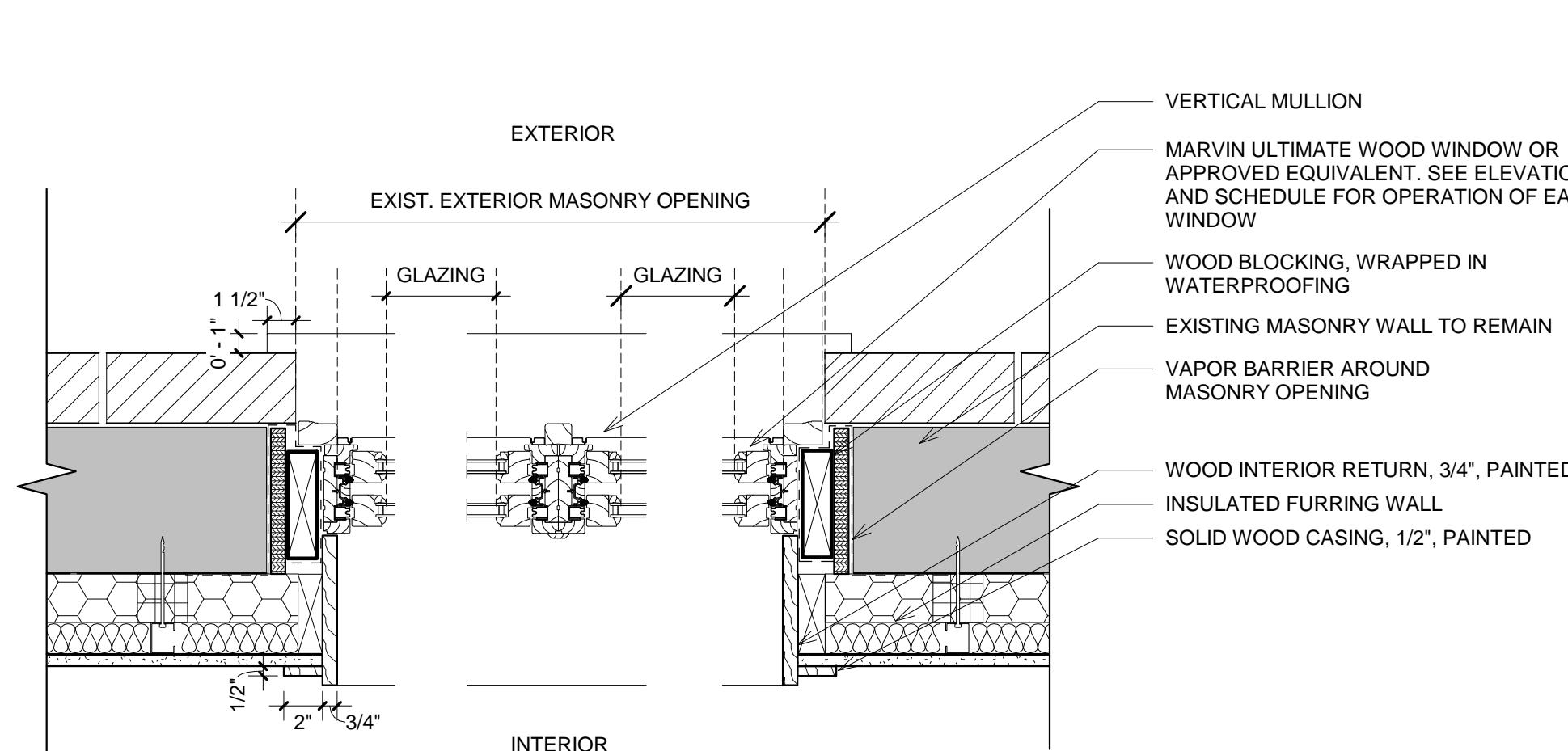
ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1 1/2" = 1'-0"
DRAWING NO.:			



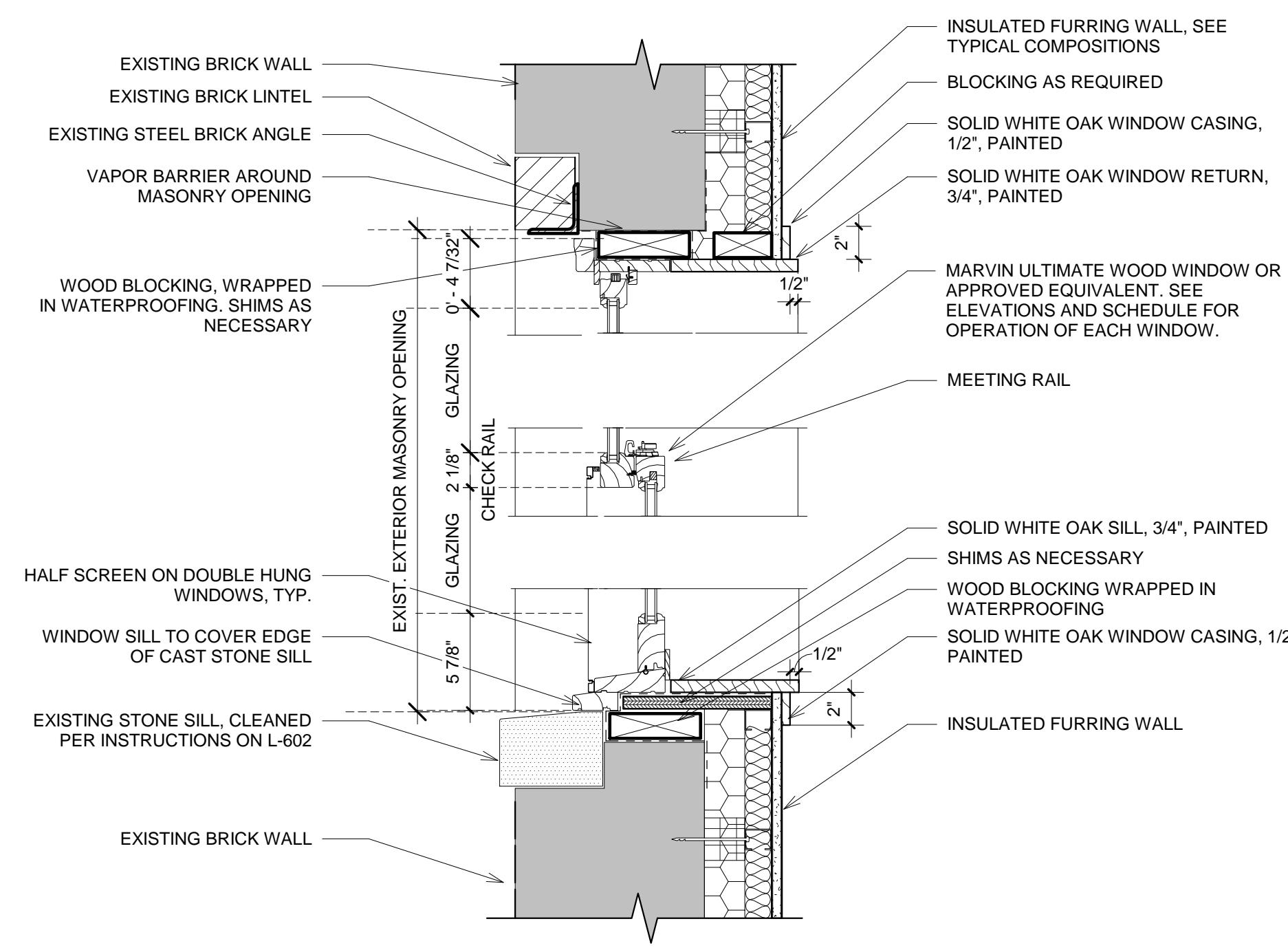
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PROPOSED WOOD WINDOW DETAILS, THIRD FLOOR FRONT BEDROOM

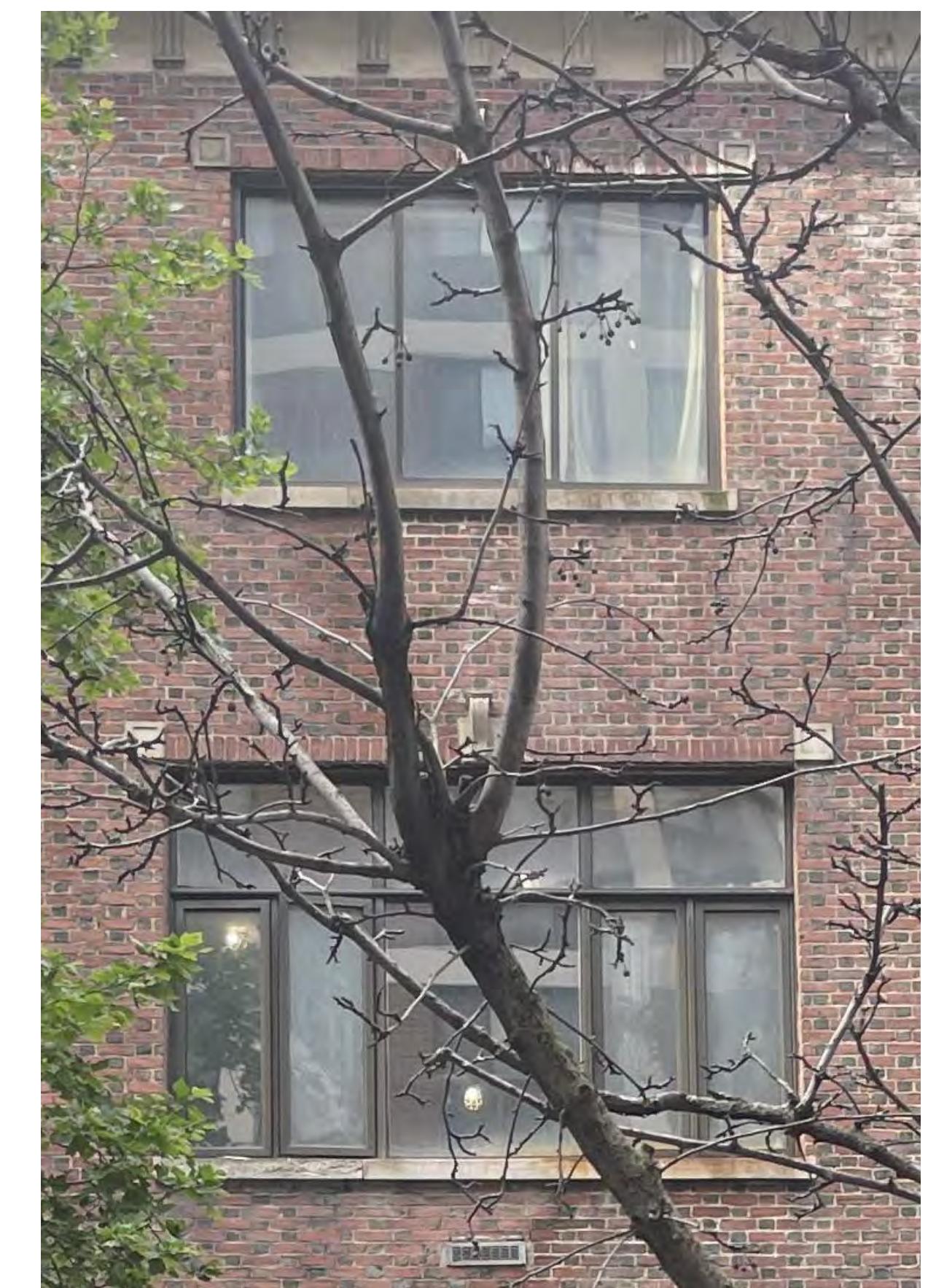


WOOD WINDOW PLAN DETAIL - THIRD FLOOR FRONT BEDROOM
1 1/2" = 1'-0"



WOOD WINDOW SECTION DETAIL - THIRD FLOOR FRONT BEDROOM
1 1/2" = 1'-0"

PHOTOGRAPH OF EXISTING WINDOWS



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

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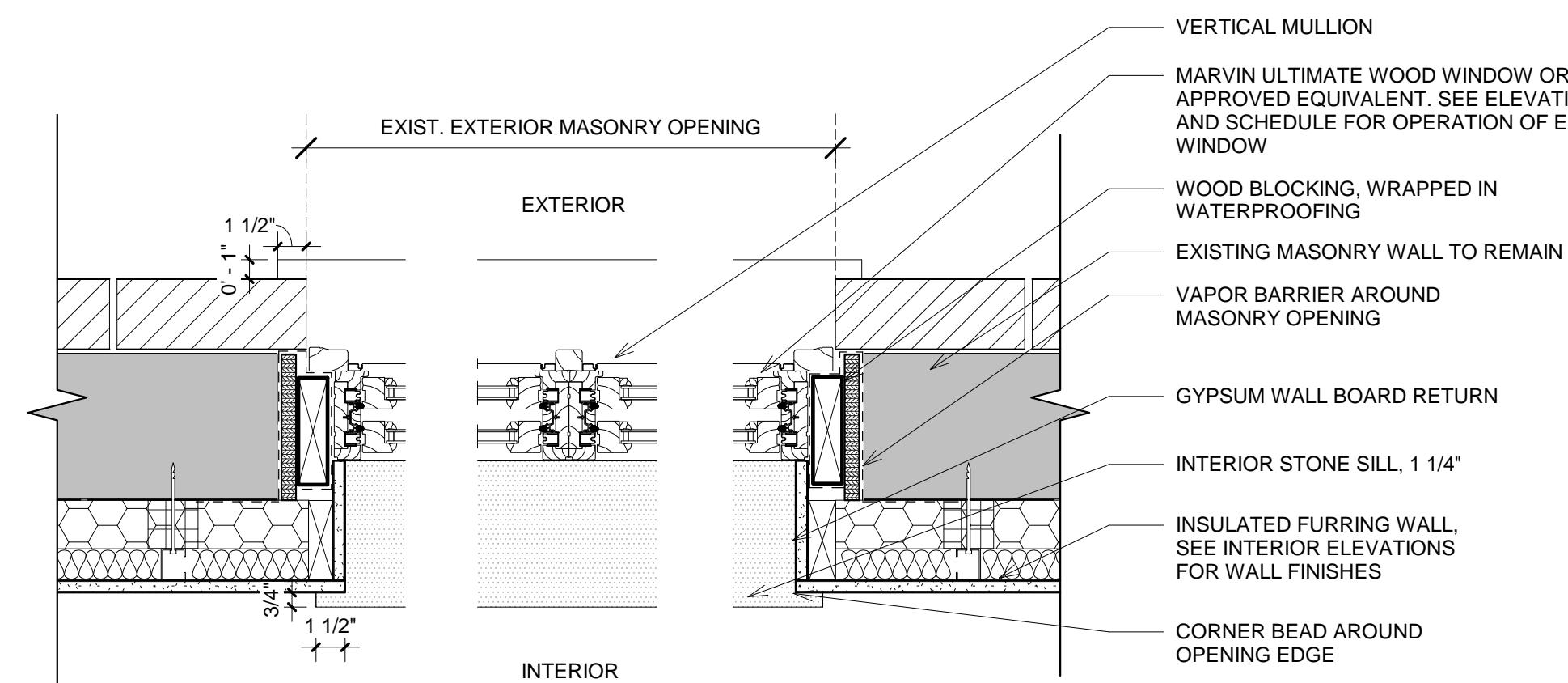
Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

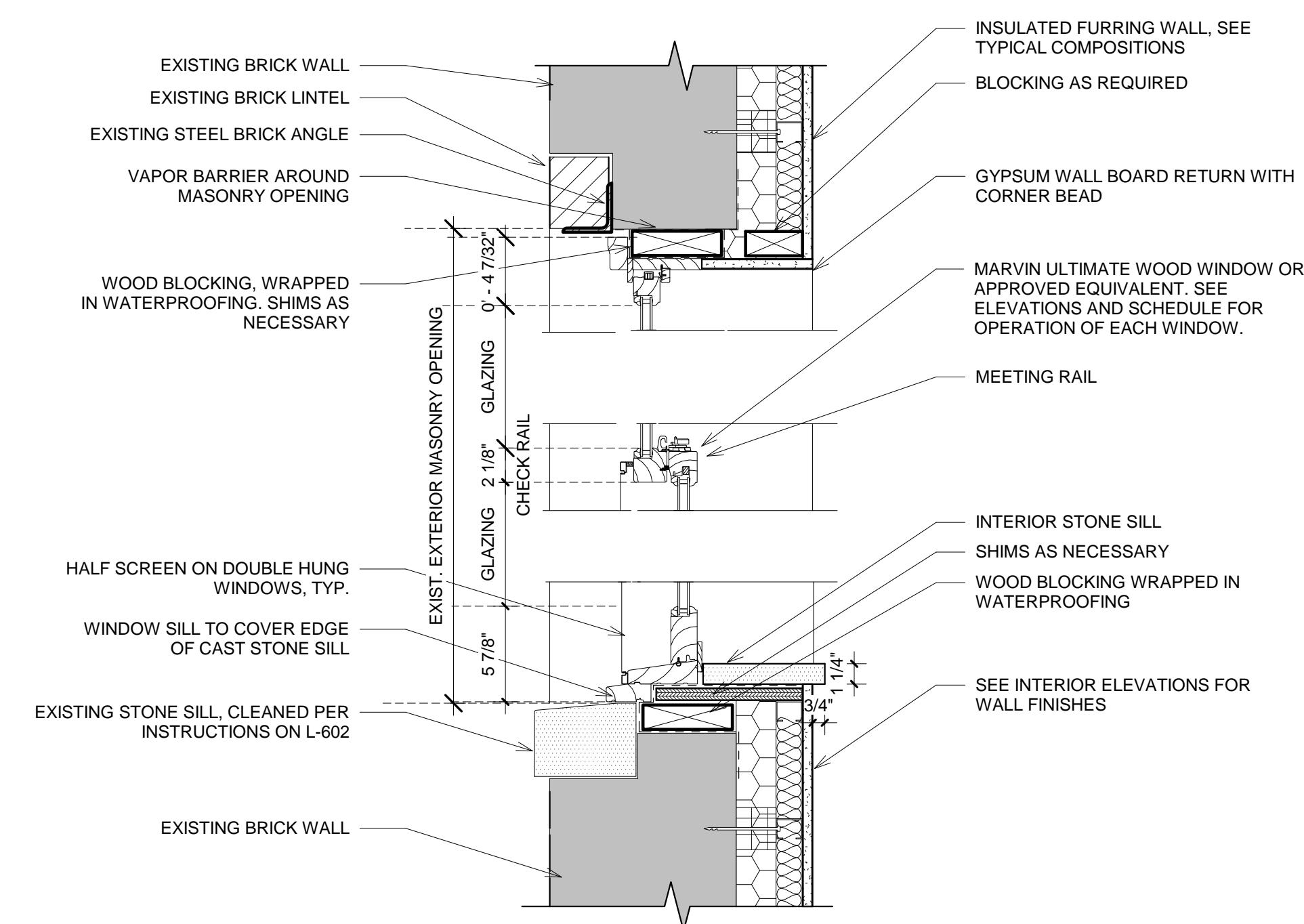
Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

PROPOSED WOOD WINDOW DETAILS, SECOND FLOOR PRIMARY BATHROOM



WOOD WINDOW PLAN DETAIL - SECOND FLOOR PRIMARY BATHROOM
1 1/2" = 1'-0"



WOOD WINDOW SECTION DETAIL - SECOND FLOOR PRIMARY BATHROOM
1 1/2" = 1'-0"

RENDERING OF PROPOSED WOOD WINDOWS



LANDMARKS SUBMISSION

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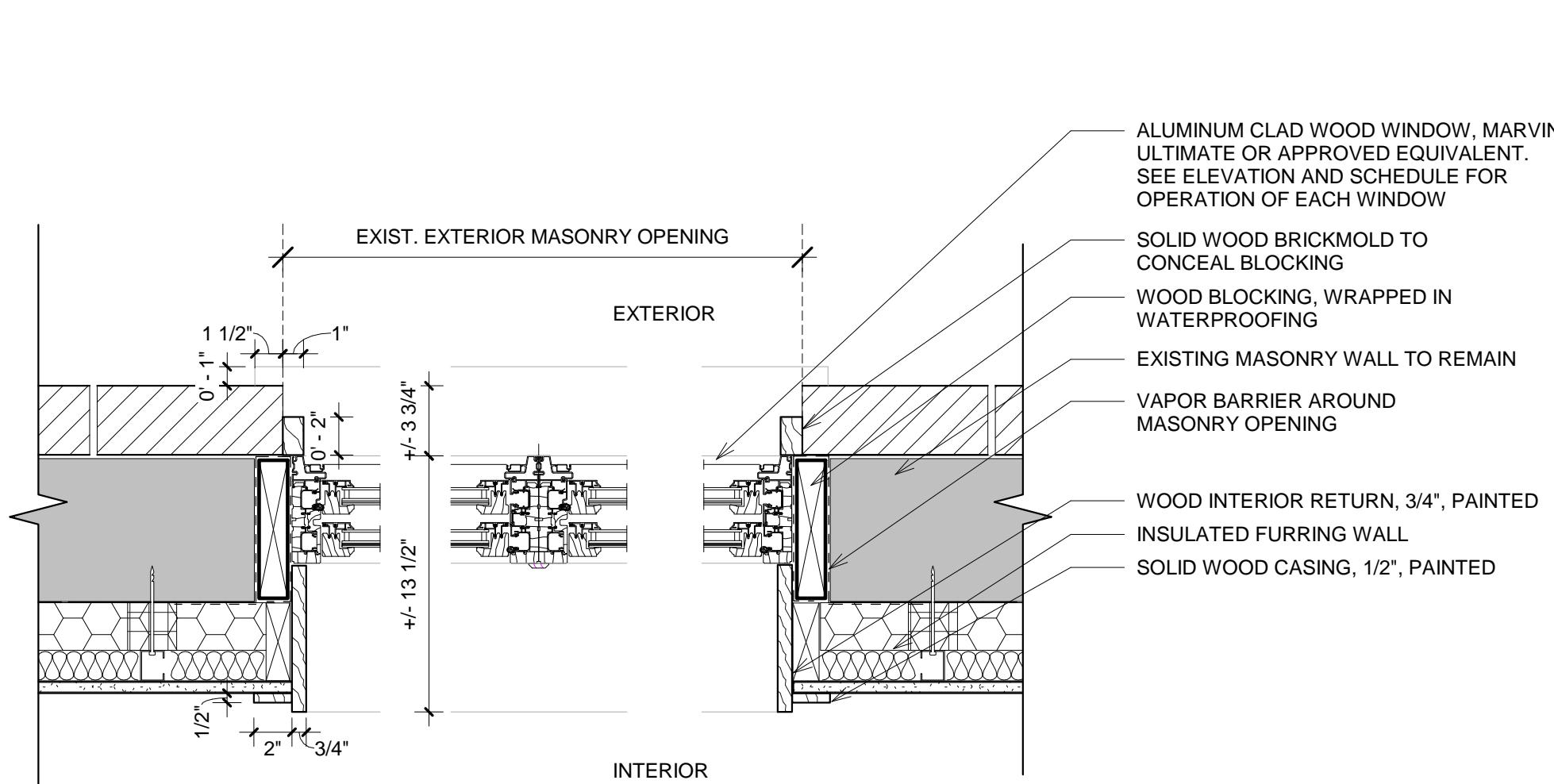
PROJECT
48 East 73rd Street

TITLE
WOOD WINDOW DETAILS,
FRONT FAÇADE

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1 1/2" = 1'-0"
DRAWING NO.:	L-502.00		

REGISTERED ARCHITECT
Daniel Kaplan
BOWERBIRD ARCHITECTS
STATE OF NEW YORK
#037717

PROPOSED ALUMINUM CLAD WINDOW DETAILS (REAR FACADE)



ALUMINUM CLAD WINDOW, PLAN DETAIL
① $1\frac{1}{2}'' = 1'-0''$

CIRC A-3720 / A-3720X
wall light

Date	Type
Project	
Location	
Model #	Quantity
Specifier	



Description
Metallic wall light providing direct and indirect light.
Suitable for indoor locations (glass shade).
Suitable for outdoor locations (polyethylene shade).

A-3720
A-3720X

Pictures above might not show the specified dimensions or material. They are for illustration purposes only.

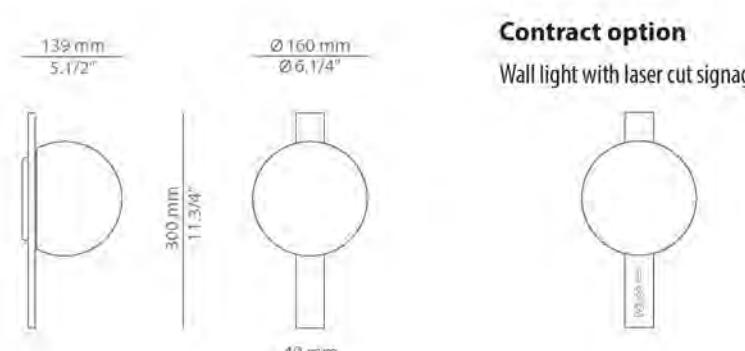
Ordering information

Product Code	Lamp
A-3720 INDOOR	LED 10W (led included) (2700K / Ang 120° / >80 CRI) / 120V / Typ* 820 lumens / Dimmable Triac Glass shade

Finish
26 BLK Black
61 GLD Satin Gold
CUSTOM

Product Code	Lamp
A-3720X OUTDOOR	LED 8W (led included) (2700K / Ang 120° / >80 CRI) / 120V / Typ* 730 lumens / Dimmable Triac Polyethylene shade

Finish
26 BLK Black
CUSTOM

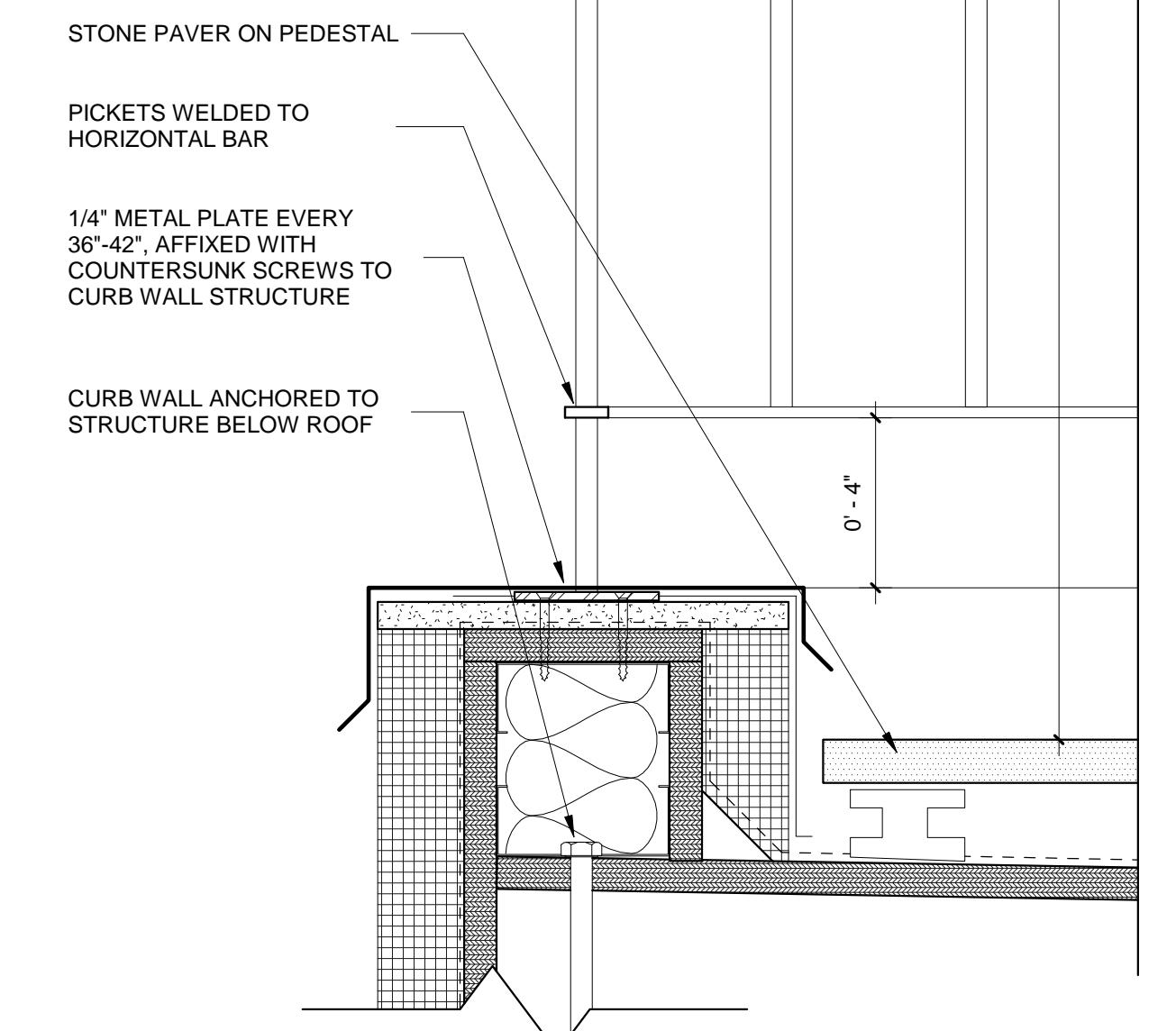
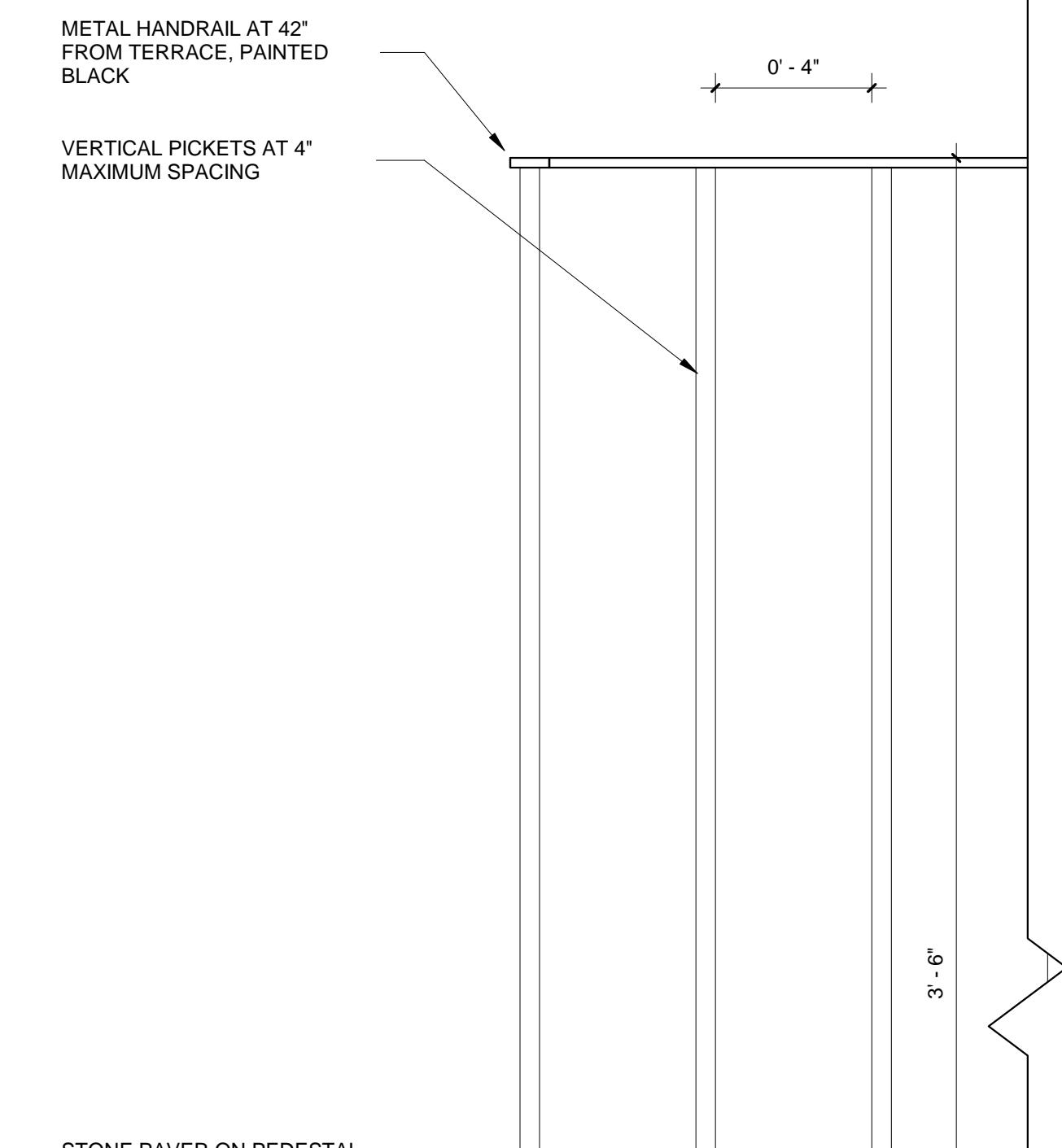


SPECIAL REQUIREMENTS

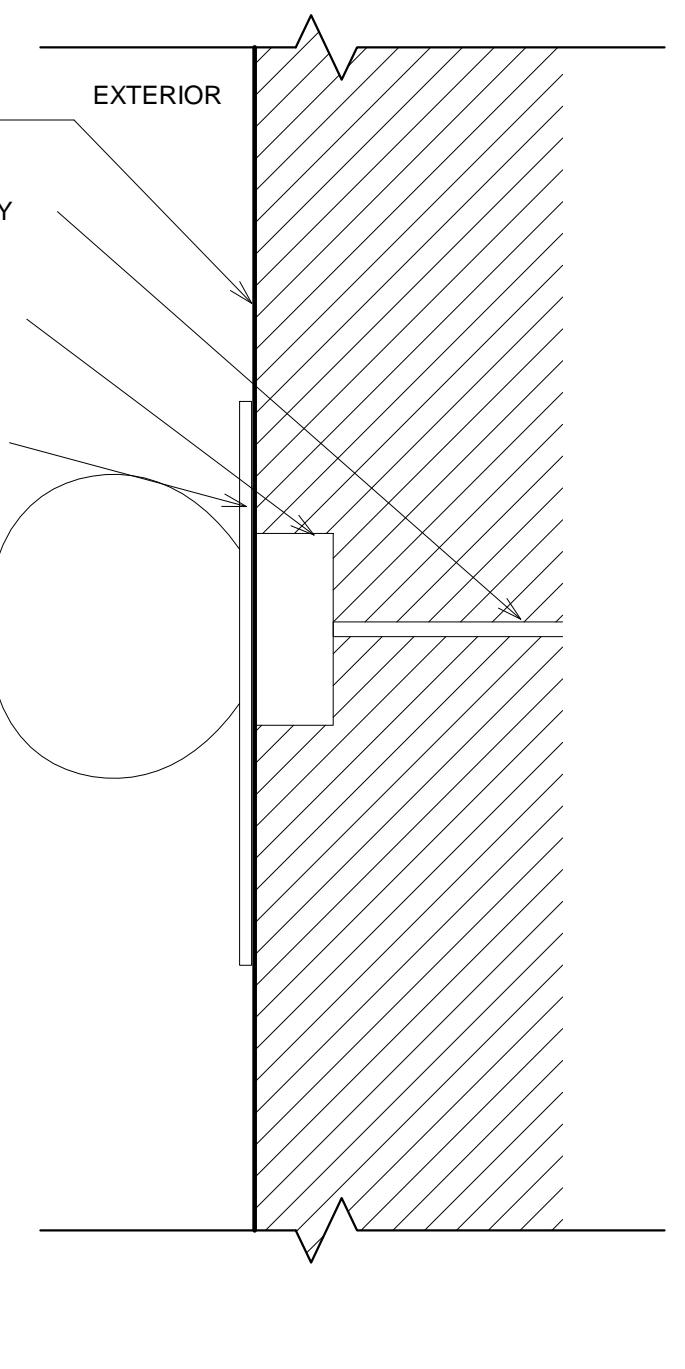
Custom finishes and versions
Alternate lamping, versions and finishes available for projects. Consult our offices.

Special instructions _____

TYP. FULL HEIGHT RAILING DETAIL



3 TYPICAL RAILING DETAIL
 $3'' = 1'-0''$



4 EXTERIOR SCONCE INSTALLATION DETAIL FOR MASONRY WALLS
 $3'' = 1'-0''$

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

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DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

48 East 73rd Street

TITLE

TYPICAL DETAILS

ZONING DISTRICT	R6B	BLOCK	1387
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DRAWING NO.:			



L-503.00

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NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

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Brooklyn, NY 11235
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dlevin@levinengineering.com

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02.05.2025

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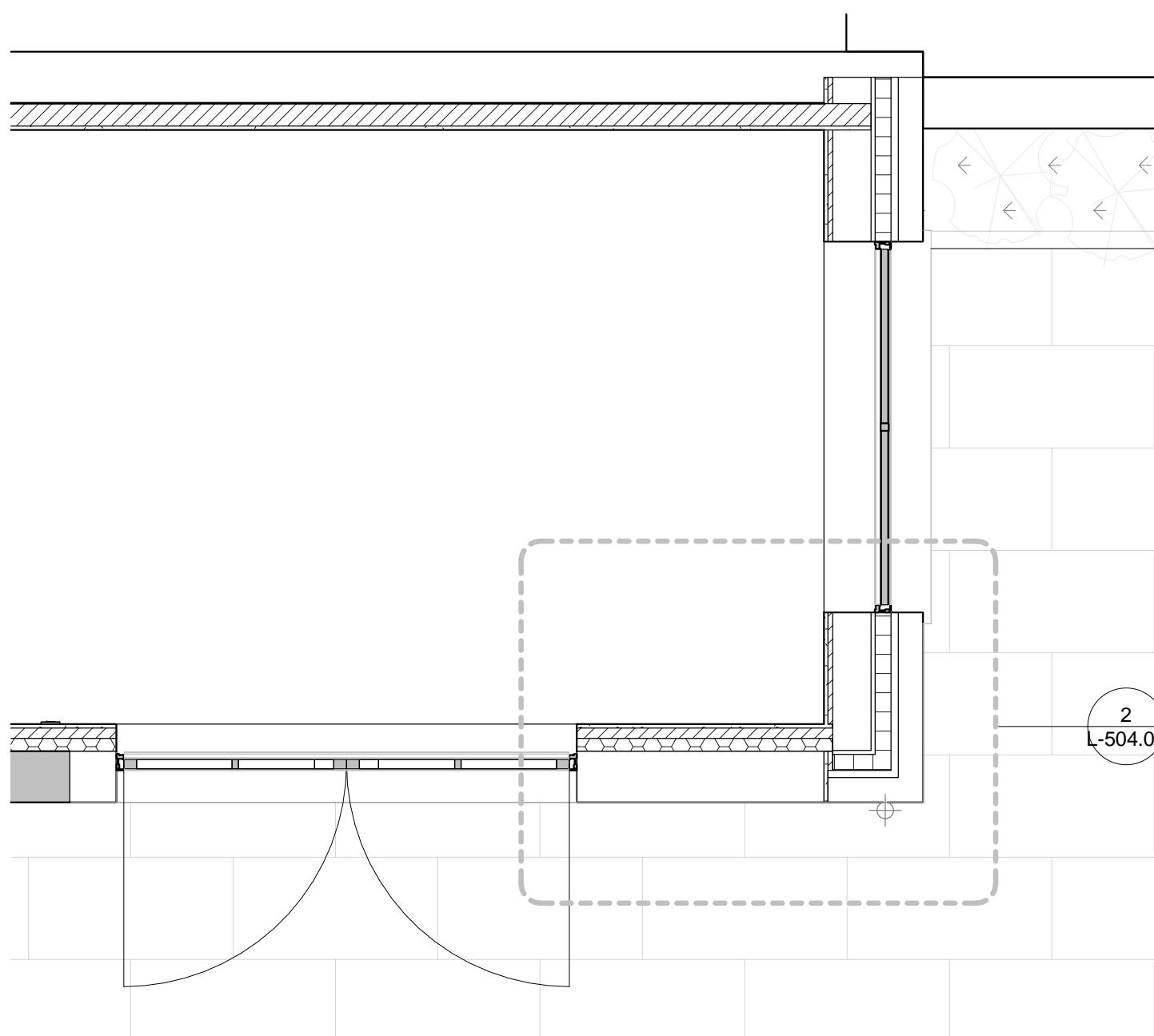
48 East 73rd Street

TITLE

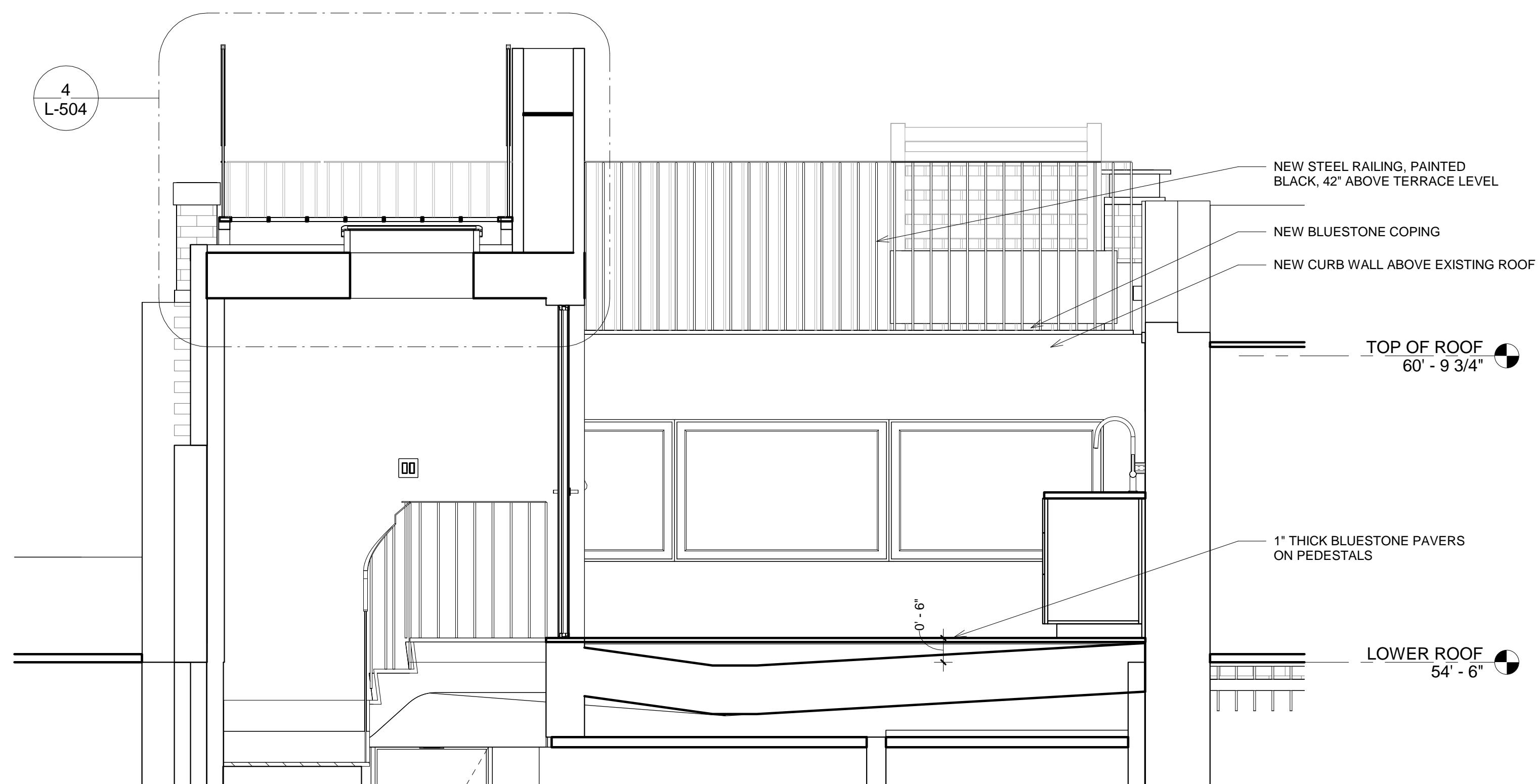
CONSTRUCTION DETAILS

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	As indicated
DRAWING NO.:		L-504.00	

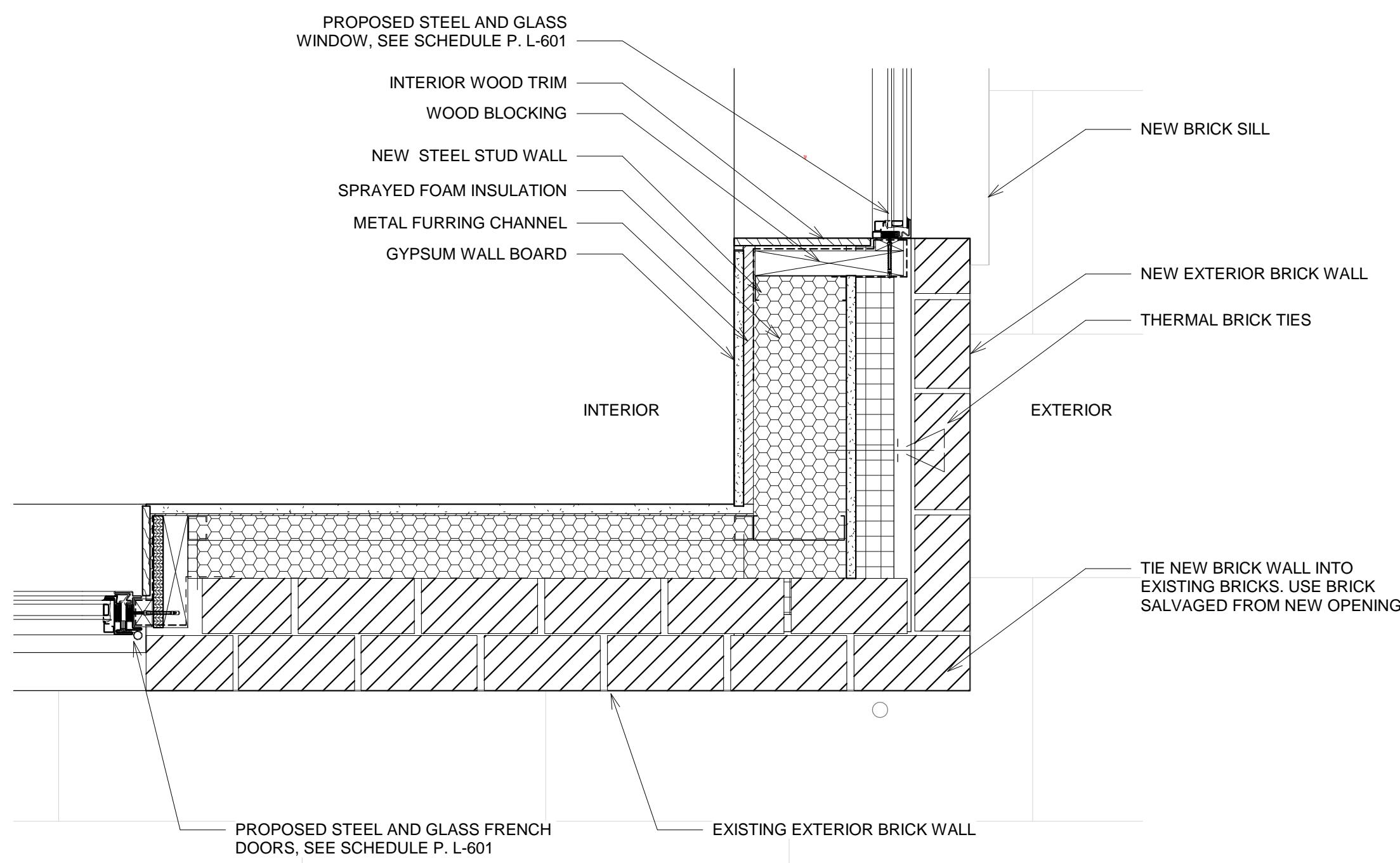
REGISTERED ARCHITECT
Daniel Kaplan
124 9th Street
Brooklyn, NY 11215
Tel: 917.447.7855
STATE OF NEW YORK
No. 037717



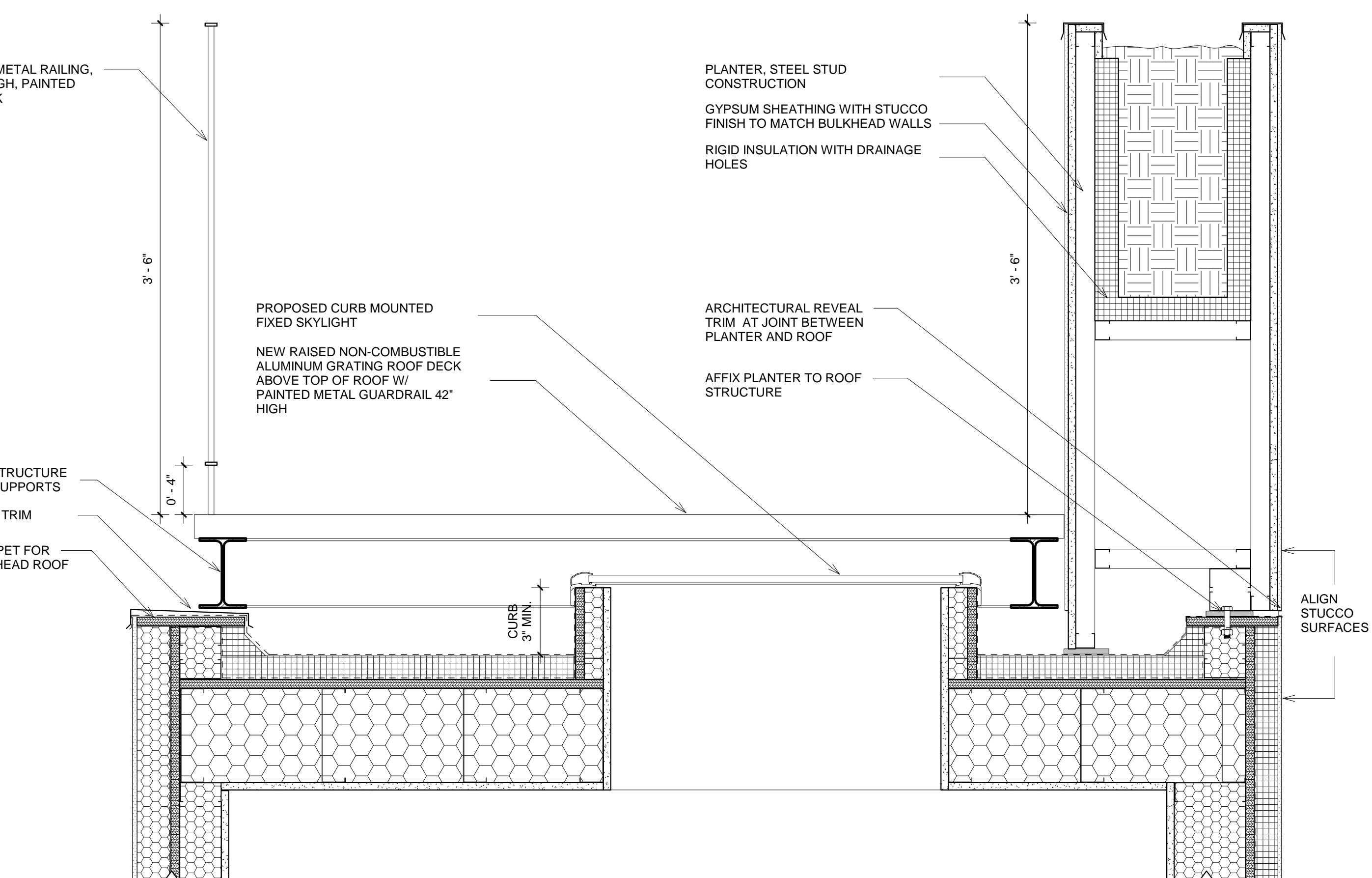
ENLARGED PLAN - BASEMENT DINING
AREA
1/2" = 1'-0"



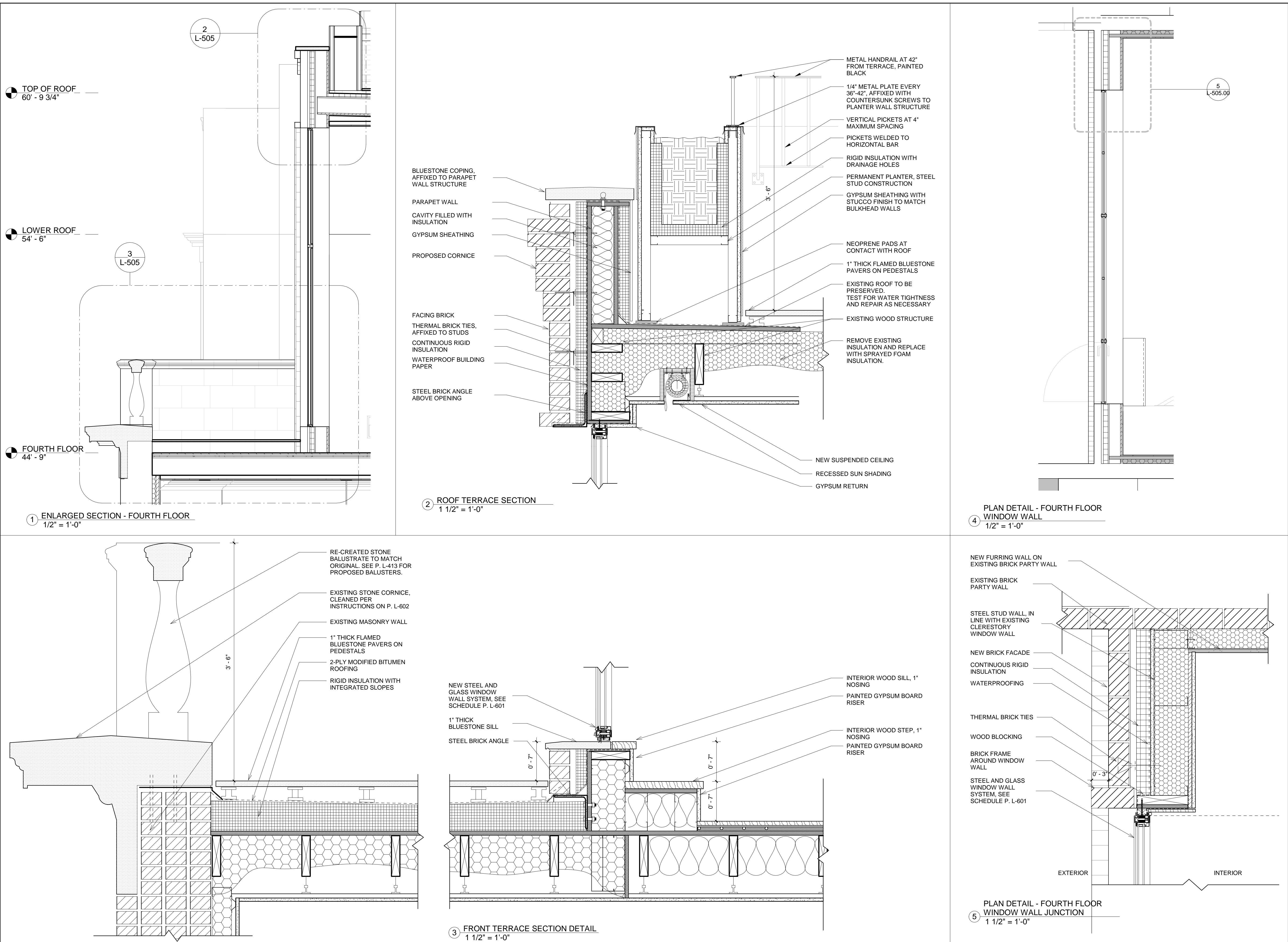
BULKHEAD ROOF CROSS SECTION
DETAIL
1/2" = 1'-0"



L PLAN DETAIL - BASEMENT WALL
CORNER
1 1/2" = 1'-0"



BULKHEAD ROOF CROSS SECTION
ENLARGED DETAIL
1 1/2" = 1'-0"



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consult

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

TITLE

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
		JOB NO.:	0158
		SCALE:	As indicated
		DRAWING NO.:	

L-505.00

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DATE	REVISION

PROJECT

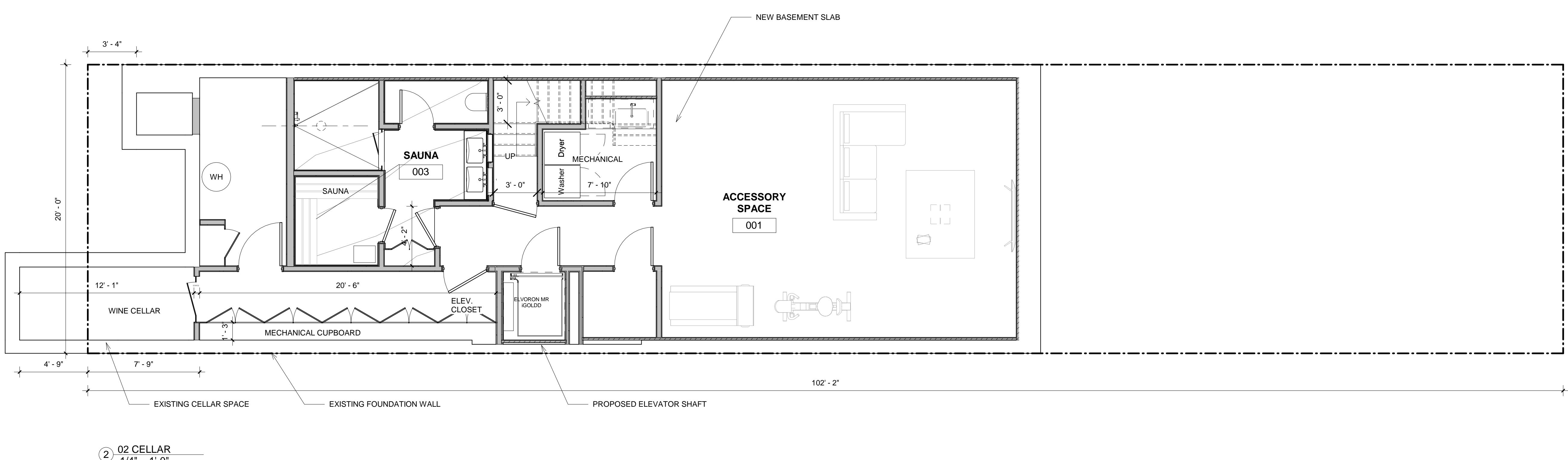
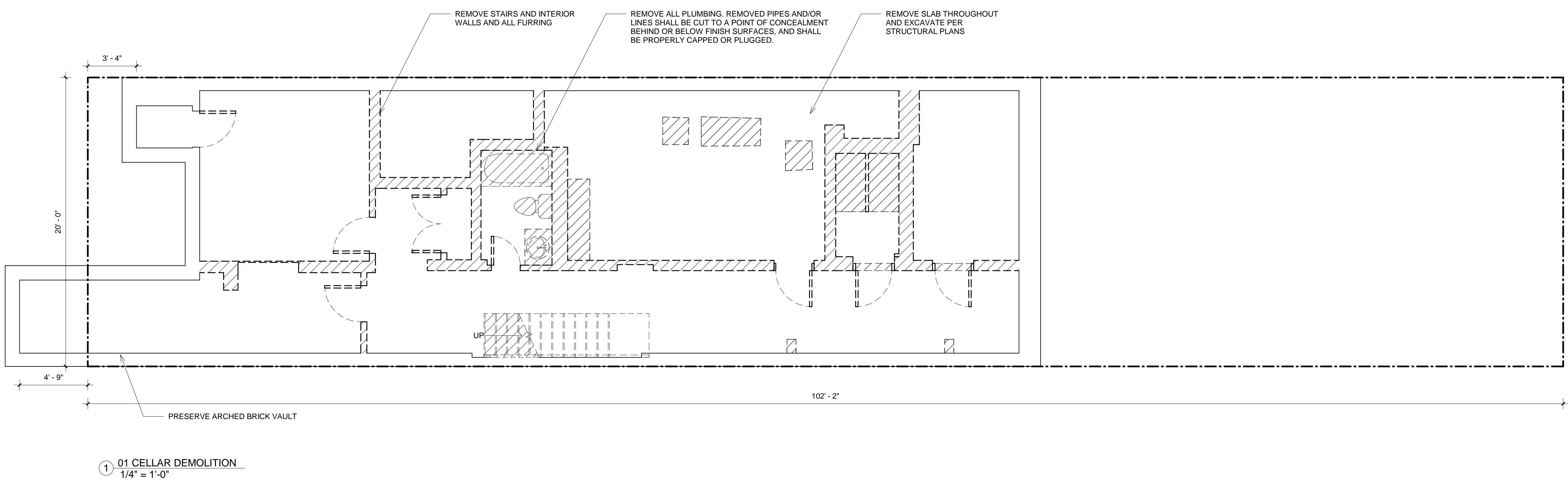
48 East 73rd Street

TITLE

DEMOLITION & PROPOSED PLANS - CELLAR

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.:			

L-101.00



DEMOLITION LEGEND:	NOTES:
EXISTING TO REMAIN	REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENT ETC., AS INDICATED.
TO BE DEMOLISHED	REMOVE ALL RADIATORS ALL FRONT & REAR WINDOWS ARE TO BE REPLACED, UNLESS OTHERWISE INDICATED ALL FRONT & REAR INTERIOR FURRING WALL TO BE REMOVED, INSULATED AND REFINISHED, U.O.I. ALL EXISTING FLOOR JOIST FRAMING WILL REMAIN, UNLESS MINOR REPLACEMENT IS REQUIRED DURING CONSTRUCTION. SEE STRUCTURAL DWGS.

PROPOSED PLAN LEGEND:

	NEW WALL		MILLWORK		NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED		STONE COUNTER		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR		NEW STONE FLOOR		MA BATHROOM EXHAUST FAN

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
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Owner

US Timber LLC
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Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
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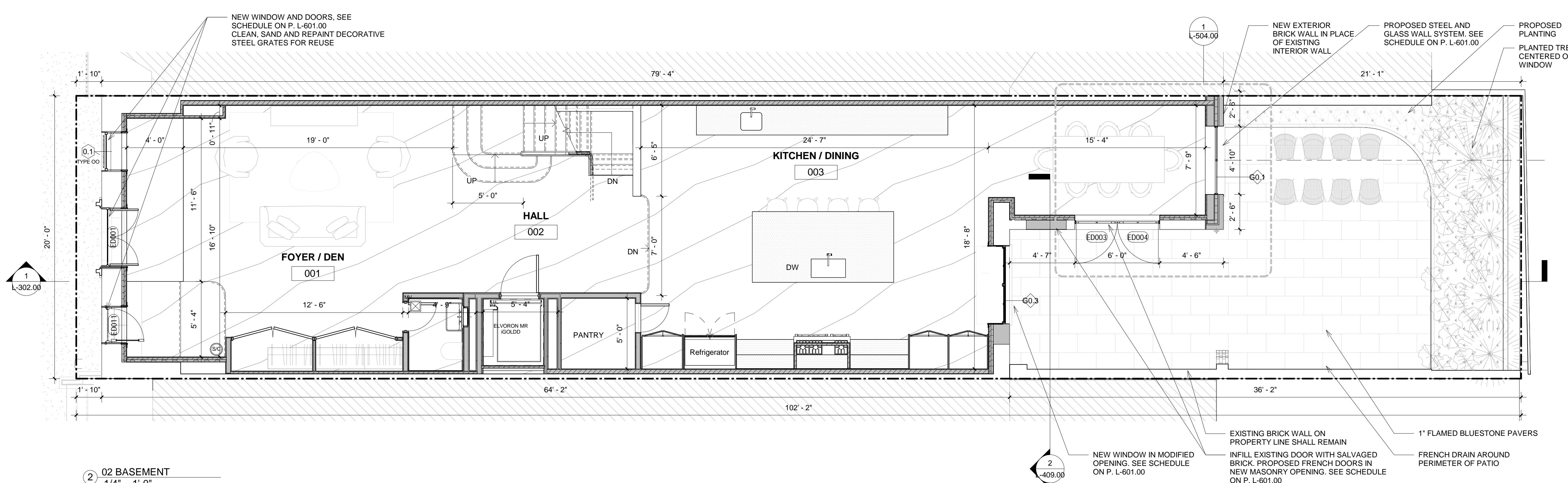
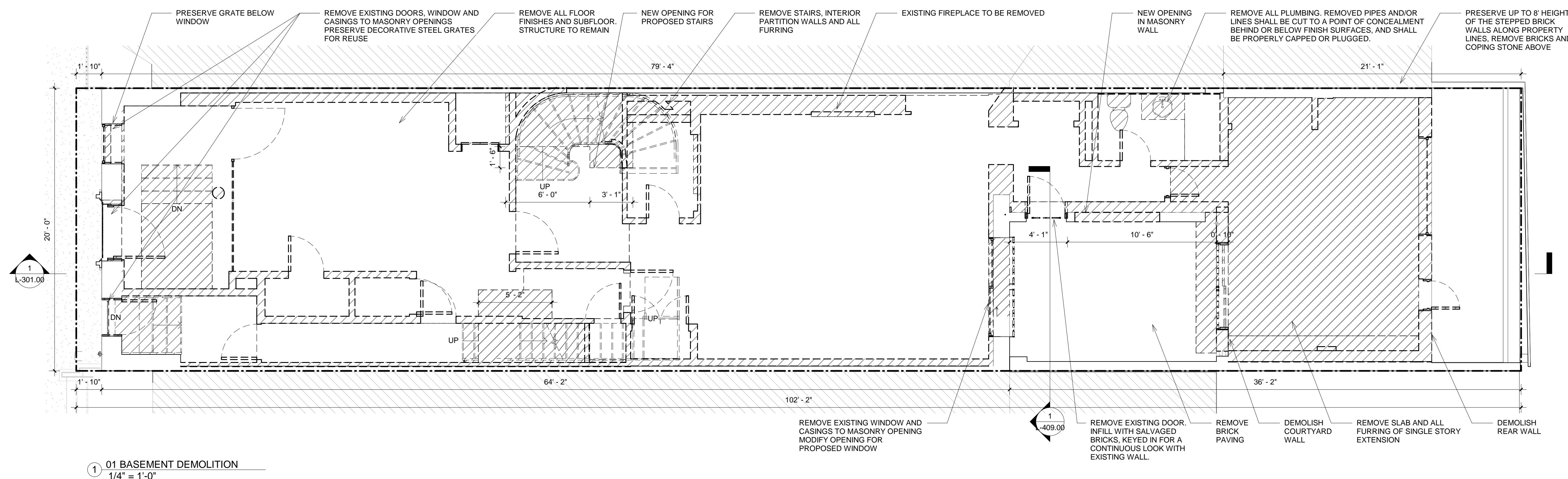
DATE	REVISION

PROJECT

48 East 73rd Street

TITLE
DEMOLITION & PROPOSED PLANS - BASEMENT

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.:			
 L-102.00			



DEMOLITION LEGEND:

- EXISTING TO REMAIN
- TO BE DEMOLISHED

NOTES:

- REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENT ETC., AS INDICATED.
- REMOVE ALL RADIATORS
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PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW CONCRETE FLOOR
- NEW STONE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- MA BATHROOM EXHAUST FAN
- M.V.

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
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Owner

US Timber LLC
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Reuven Kalish
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Gasbarro Structural Engineering, PLLC
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Brooklyn, NY 11215
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Mechanical Engineer

Dmitry Levin, PE
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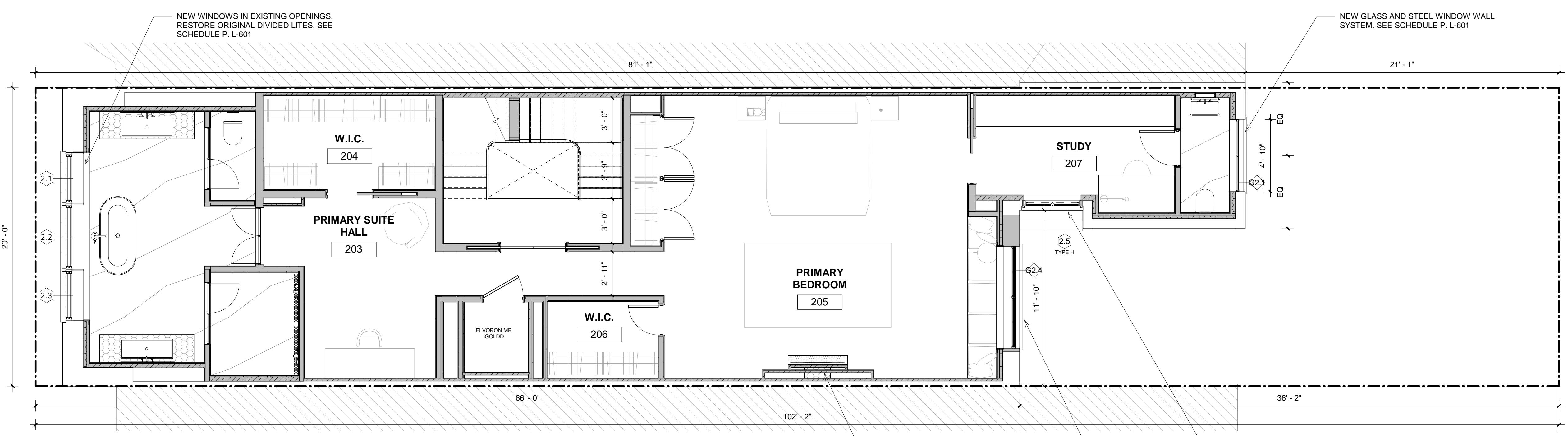
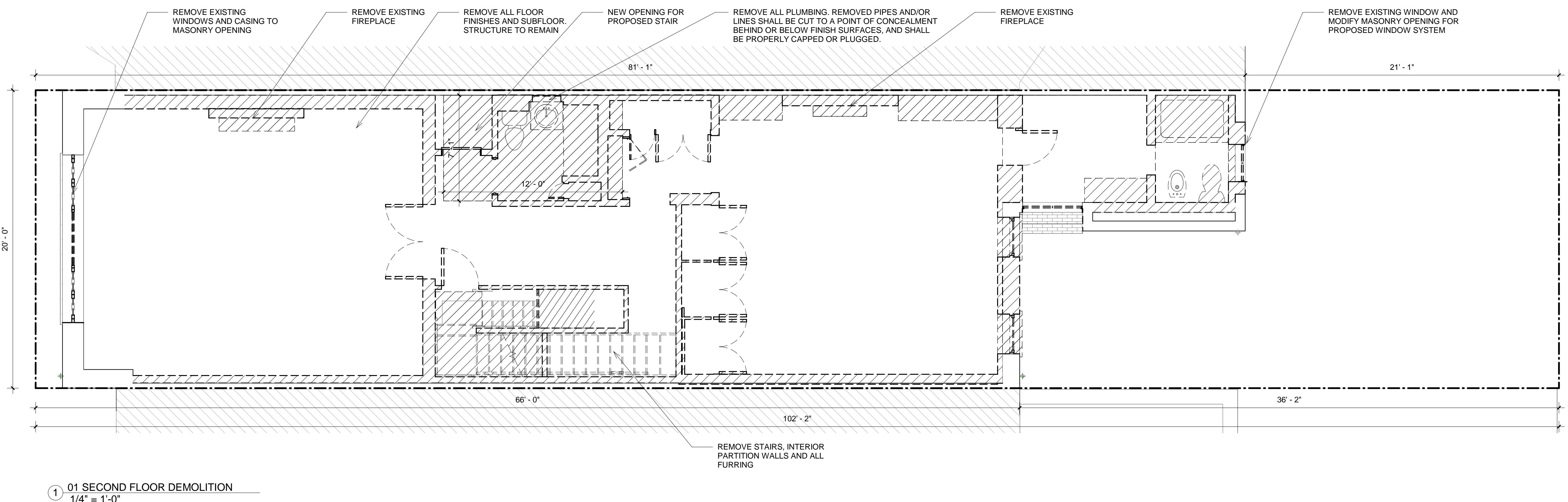
DATE	REVISION
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PROJECT
48 East 73rd Street

TITLE
DEMOLITION & PROPOSED
PLANS - SECOND FLOOR

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE 2025 10 16		
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.: L-104.00			

REGISTERED ARCHITECT
Daniel Kaplan
BOWERBIRD ARCHITECTS
STATE OF NEW YORK
#037717



② 02 SECOND FLOOR

1/4" = 1'-0"

DEMOLITION LEGEND:

- EXISTING TO REMAIN
- TO BE DEMOLISHED

NOTES:

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PROPOSED PLAN LEGEND:

- NEW WALL
- MILLWORK
- NEW CONCRETE FLOOR
- CONDITION ABOVE AS NOTED
- STONE COUNTER
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- NEW WOOD FLOOR
- NEW STONE FLOOR
- MA BATHROOM EXHAUST FAN
- M.V.

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
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dlevin@levinengineering.com

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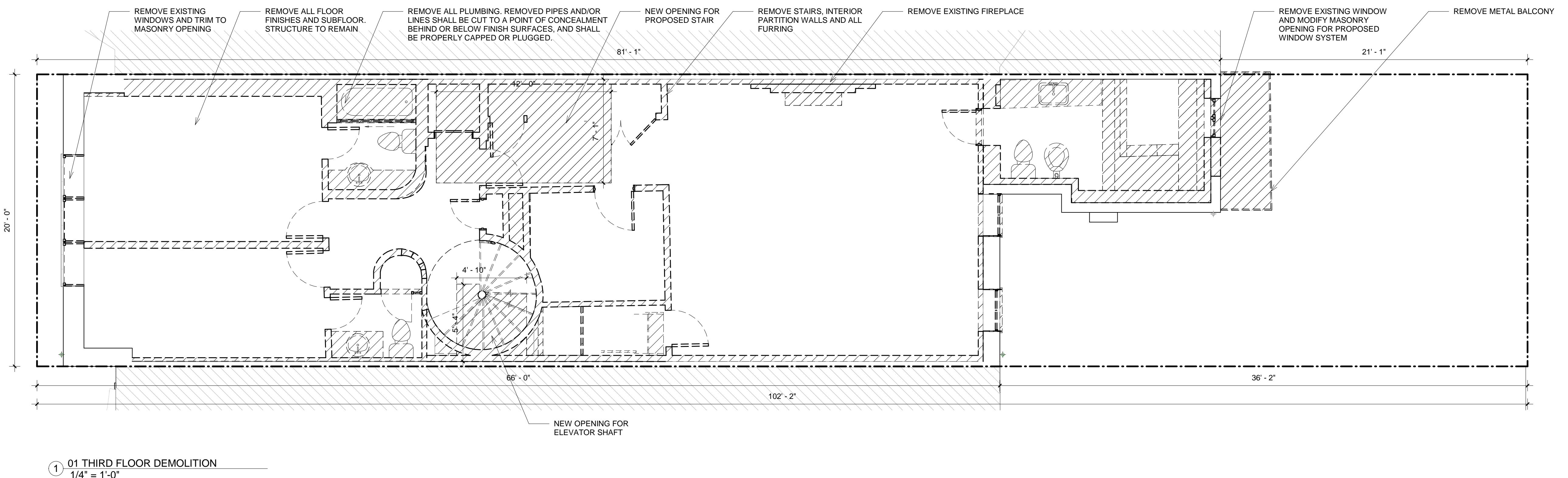
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DATE	REVISION

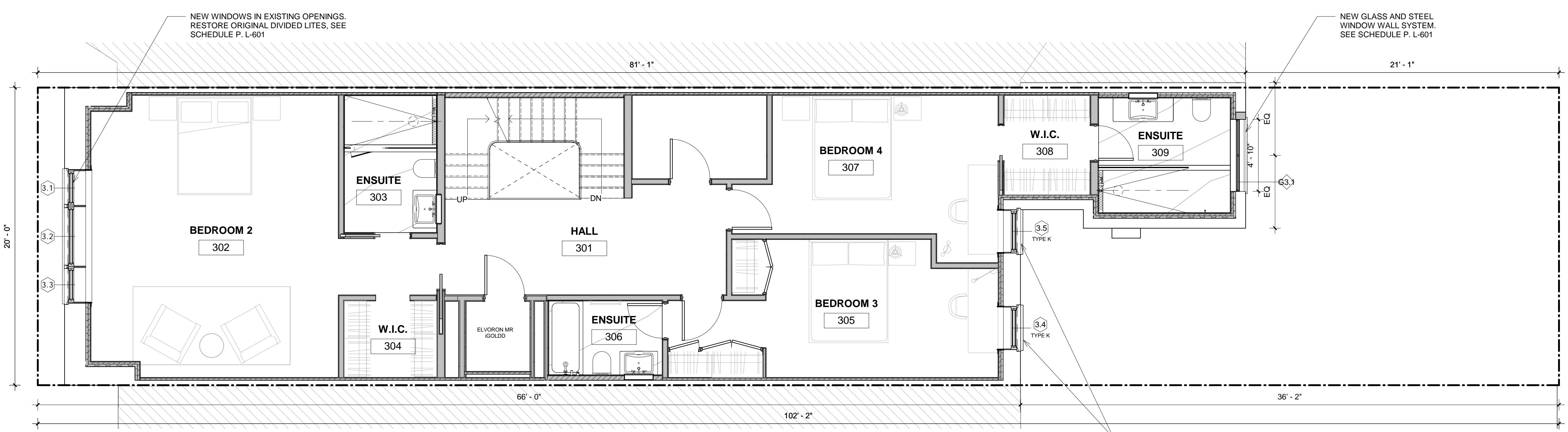
PROJECT
48 East 73rd Street

TITLE
DEMOLITION & PROPOSED
PLANS - THIRD FLOOR

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.:			
L-105.00			



① 01 THIRD FLOOR DEMOLITION
1/4" = 1'-0"



② 02 THIRD FLOOR
1/4" = 1'-0"

DEMOLITION LEGEND:	
	EXISTING TO REMAIN
	TO BE DEMOLISHED

NOTES:

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PROPOSED PLAN LEGEND:

	NEW WALL		MILLWORK		NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED		STONE COUNTER		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR		NEW STONE FLOOR		MA BATHROOM EXHAUST FAN

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
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Structural Engineer

Gasbarro Structural Engineering, PLLC
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Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

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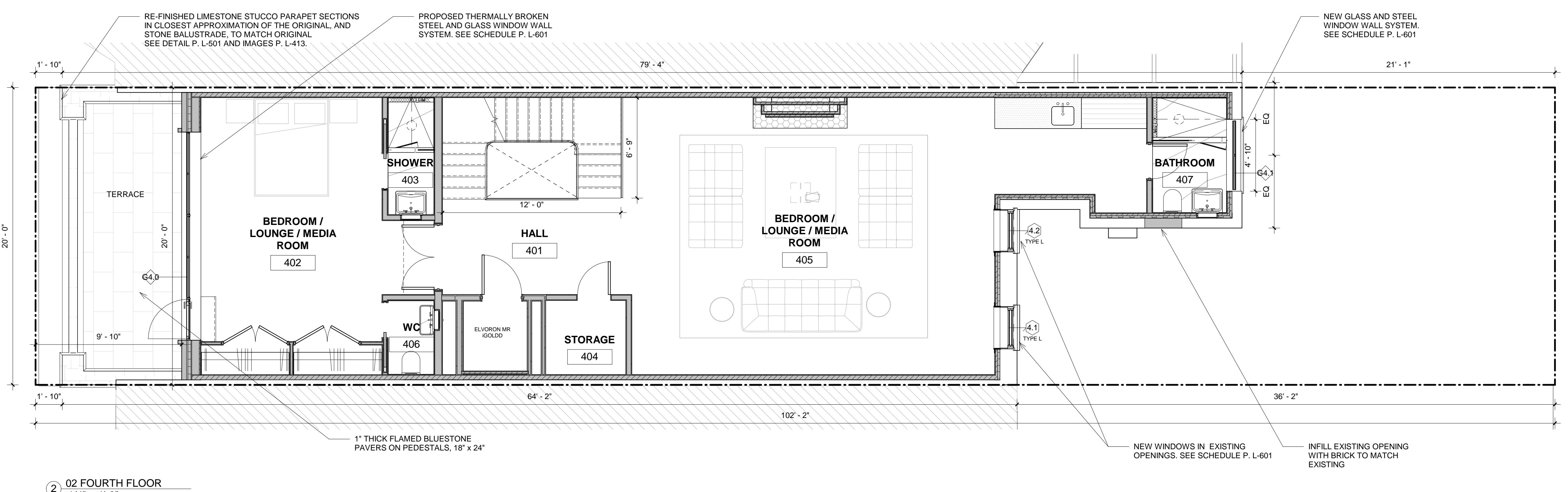
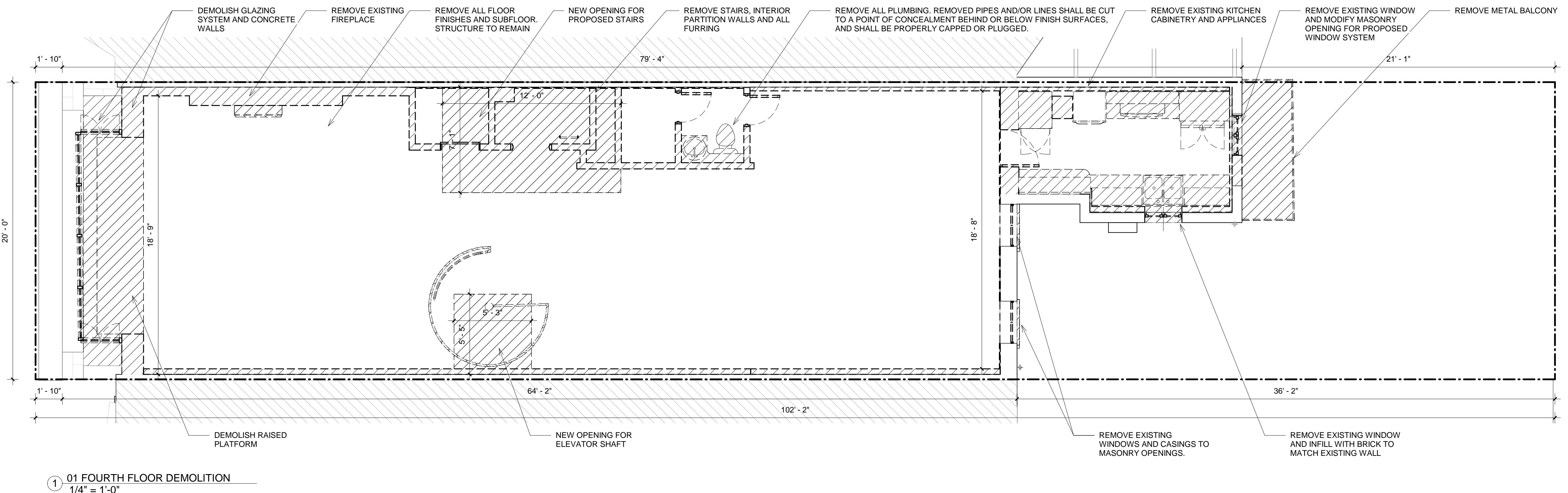
48 East 73rd Street

TITLE

DEMOLITION & PROPOSED PLANS - FOURTH FLOOR

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE 2025 10 16		
JOB NO.	0158		
SCALE:	1/4" = 1'-0"		
DRAWING NO.:	L-106.00		

REGISTERED ARCHITECT
Daniel Kaplan
BOWERBIRD ARCHITECTS
STATE OF NEW YORK
#037717



DEMOLITION LEGEND:	
	EXISTING TO REMAIN
	TO BE DEMOLISHED

NOTES:

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PROPOSED PLAN LEGEND:

	NEW WALL		MILLWORK		NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED		STONE COUNTER		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR		NEW STONE FLOOR		MA BATHROOM EXHAUST FAN
					M.V.

PARAPET WALL AND GLAZED ADDITION BELOW
DEMOLISH CONCRETE PORTION OF ROOF
DEMOLISH INTERIOR FURRING WALLS. PRESERVE MASONRY WALLS AND ROOF STRUCTURE
DEMOLISH EXISTING SHAFT AND ACCESS
DEMOLISH EXISTING ROOF ACCESS HATCH AND LADDER
DEMOLISH PORTION OF ROOF INCLUDING FINISHES AND STRUCTURE
REMOVE ROOF FINISHES, PRESERVE STRUCTURE
PRESERVE EXISTING CHIMNEYS
REMOVE WINDOWS AND CASINGS TO ROUGH OPENINGS
PRESERVE EXISTING ROOF METAL BALCONY BELOW
OPEN TO BELOW
NEW OPENING FOR PROPOSED WINDOW.
INFILL OPENING IN WALL WITH STEEL STUDS AND RIGID INSULATION
REMOVE EXISTING CLERESTORY WINDOWS AND MODIFY OPENING
DEMOLISH INTERIOR WALLS AND ALL FURRING
NEW OPENING FOR PROPOSED WINDOWS.
ROOF SLOPE
20'-0"
10'-3"
15'-3"
22'-5"
14'-11"
8'-7"
9'-9"
21'-0"
5'-9"
60'-1"
102'-2"
15'-4"
21'-0"
1/4" = 1'-0"
01 ROOF DEMOLITION

02 LOWER ROOF
1/4" = 1'-0"

4 L-505.00

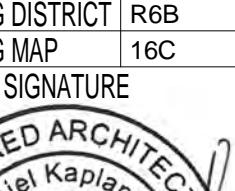
ROOF DECK AND CORNICE BELOW
REUSE STRUCTURE ABOVE EXISTING CLERESTORY WINDOWS FOR PROPOSED WALL
PROPOSED STEEL AND GLASS WINDOW WALL SYSTEM. SEE SCHEDULE P. L-601
PROPOSED BULKHEAD, BROWNSTONE COLORED STUCCO FINISH
PLANTER WITH DRAINAGE
FDNY LADDER
NEW WINDOWS IN EXISTING OPENINGS. SEE SCHEDULE P. L-601
OPEN TO BELOW
ROOF SLOPE
TERRACE
5.1 TYPE M
5.2 TYPE N
5.3 TYPE N
5.4 TYPE P
5.5 TYPE P
5.6 TYPE M
5.7 TYPE M
5.8 TYPE M
5.9 TYPE O
5.10 TYPE O
NEW WINDOW, SEE SCHEDULE P. L-601
ROOFTOP BAR
ROOF DRAIN BELOW PAVERS
1" THICK FLAMED BLUESTONE PAVERS ON PEDESTALS
NEW ROOF, SEE STRUCTURE
NEW CLERESTORY WINDOWS, SEE SCHEDULE P. L-601
NEW 2 PLY MODIFIED BITUMEN ROOFING ON EXISTING ROOF
RE-PAINT EXISTING METAL RAILING BLACK
PLANter
1/4" = 1'-0"

DEMOLITION LEGEND

NOTES

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<u>PROPOSED PLAN LEGEND:</u>	
	NEW WALL
	MILLWORK
	NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED
	STONE COUNTER
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR
	NEW STONE FLOOR
	MA BATHROOM EXHAUST FAN

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
		JOB NO.:	0158
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

L-107.00

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

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Mechanical Engineer

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LANDMARKS SUBMISSION

02.05.2025

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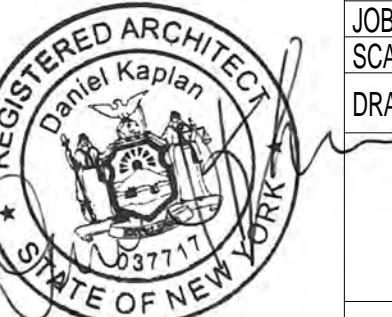
PROJECT

48 East 73rd Street

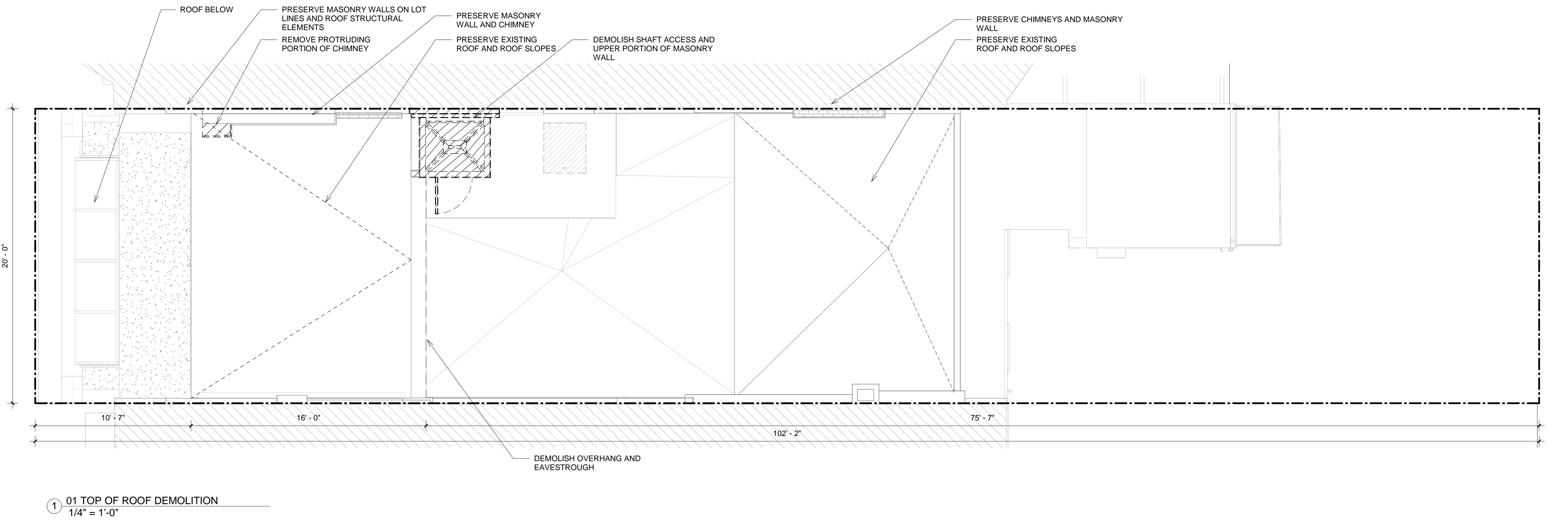
TITLE

DEMOLITION & PROPOSED PLANS - BULKHEAD ROOF

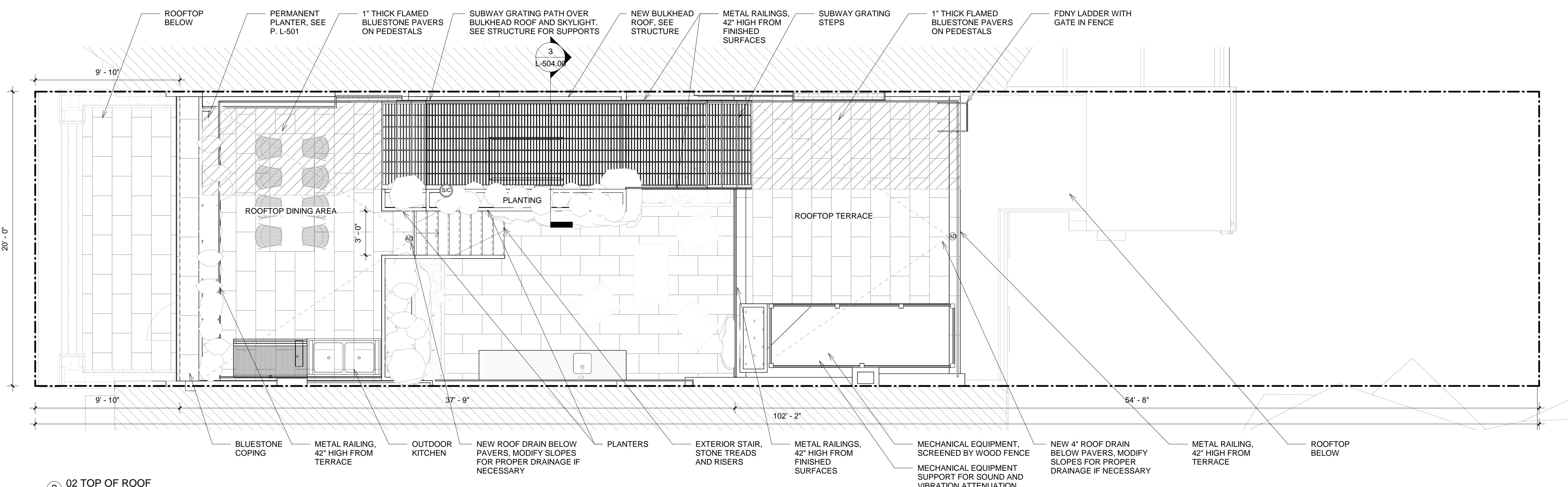
ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.: L-108.00			



REGISTERED ARCHITECT
Daniel Kaplan
STATE OF NEW YORK
037717



① 01 TOP OF ROOF DEMOLITION
1/4" = 1'-0"



② 02 TOP OF ROOF
1/4" = 1'-0"

L-108.00

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LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

48 East 73rd Street

TITLE

DEMOLITION & PROPOSED ELEVATIONS - FRONT

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	Daniel Kaplan Bowerbird Architects, PLLC 124 9th Street, Suite 250 Brooklyn, NY 11215 Tel: 917.447.7855		
DATE	2025 10 16		
JOB NO.	0158		
SCALE:	1/4" = 1'-0"		
DRAWING NO.:	L-201.00		

① 01 DEMOLITION ELEVATION - NORTH

1/4" = 1'-0"

② 02 ELEVATION - NORTH

1/4" = 1'-0"

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LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE

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PROJECT

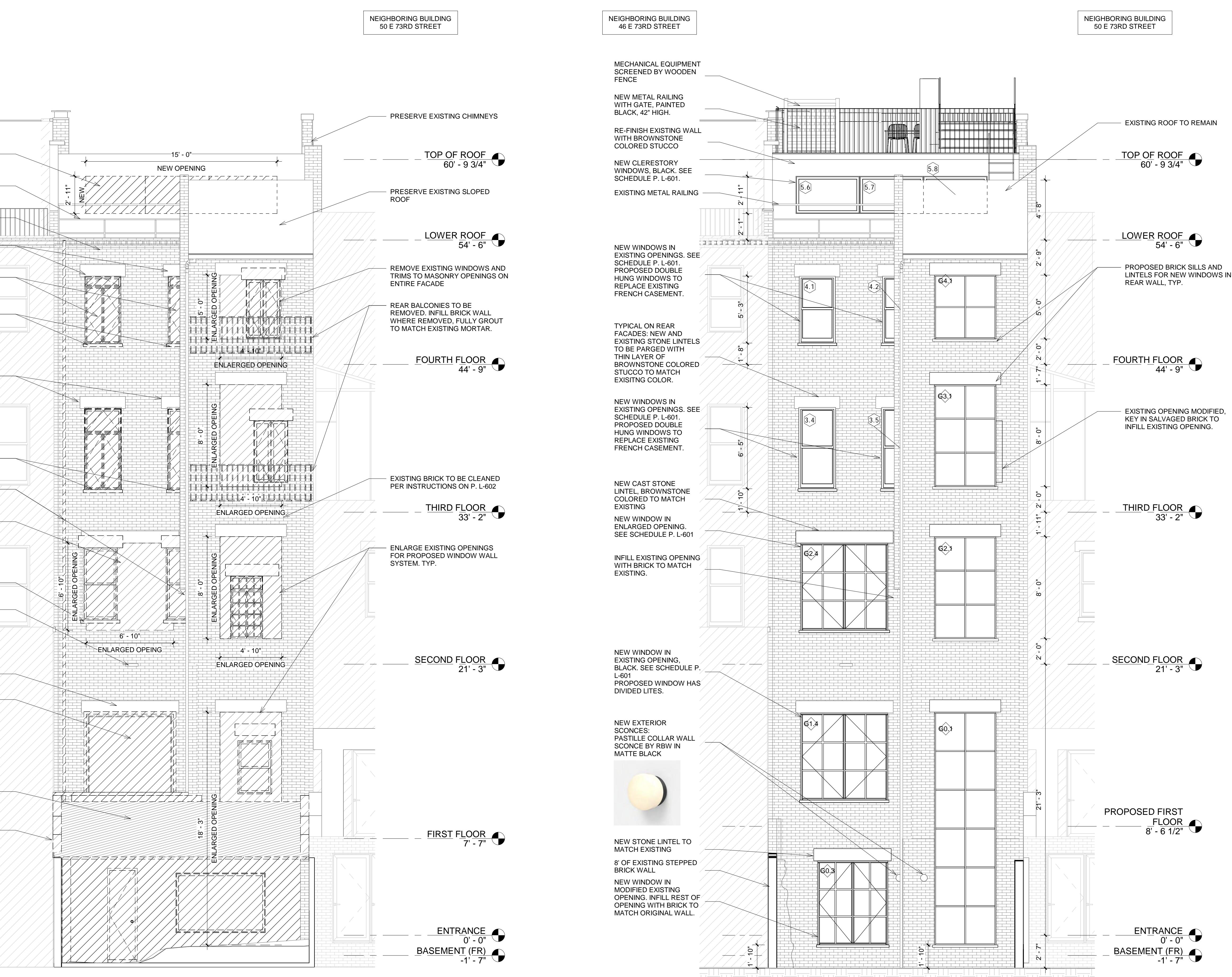
48 East 73rd Street

TITLE

DEMOLITION & PROPOSED ELEVATIONS - REAR

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.: L-202.00			

REGISTERED ARCHITECT
Daniel Kaplan
BOWERBIRD ARCHITECTS
STATE OF NEW YORK
#357717



① 01 DEMOLITION ELEVATION - SOUTH
1/4" = 1'-0"

② 02 ELEVATION - SOUTH
1/4" = 1'-0"

L-202.00

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Bowerbird Architects, PLLC
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PROJECT

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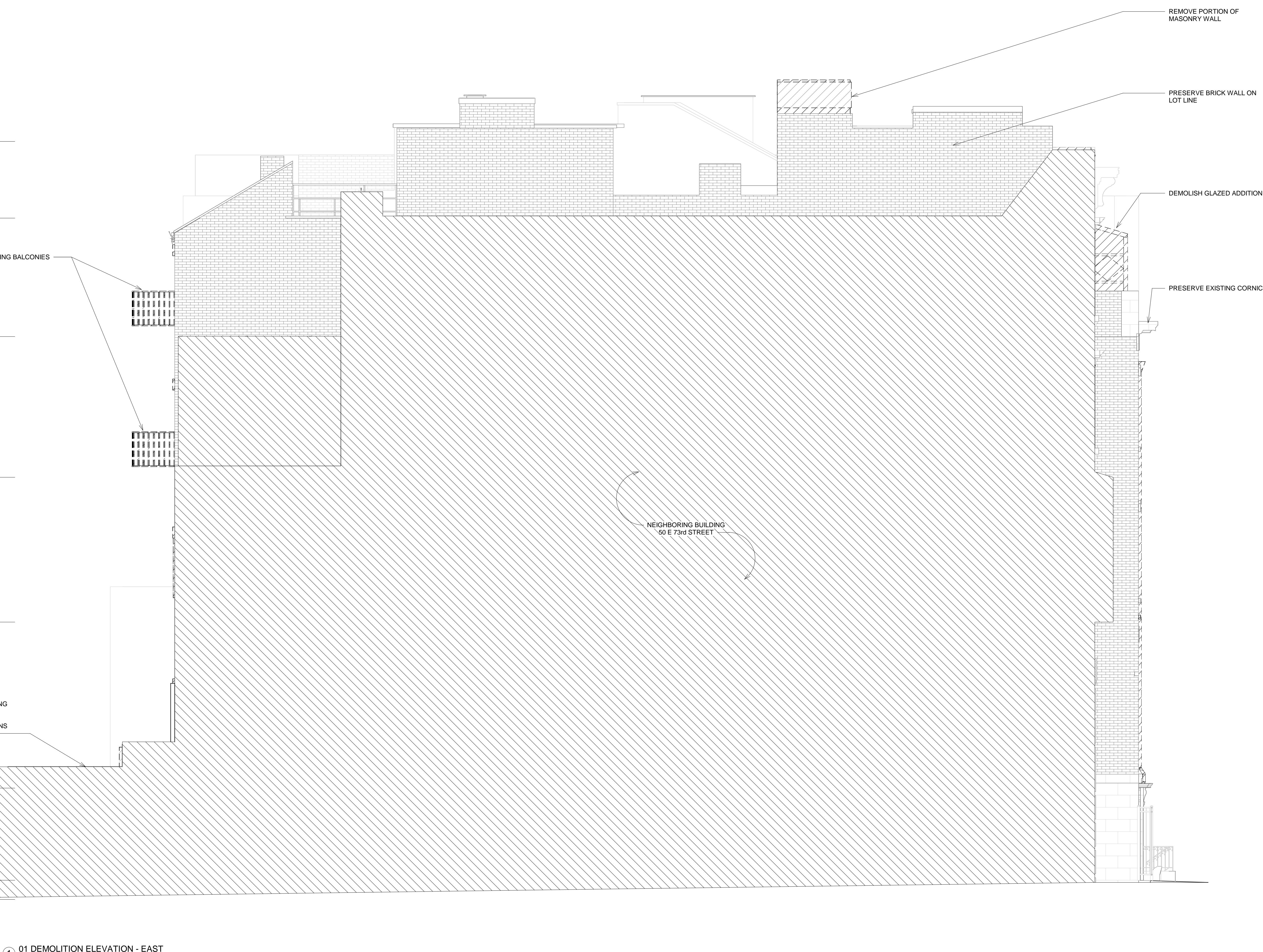
TITLE

DEMOLITION ELEVATION - EAST

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE	2025 10 16	
	JOB NO.	0158	
	SCALE:	1/4" = 1'-0"	
	DRAWING NO.:	L-203.00	



REGISTERED ARCHITECT
Daniel Kaplan, RA
State of New York
No. 037717



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

02.05.2025

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

48 East 73rd Street

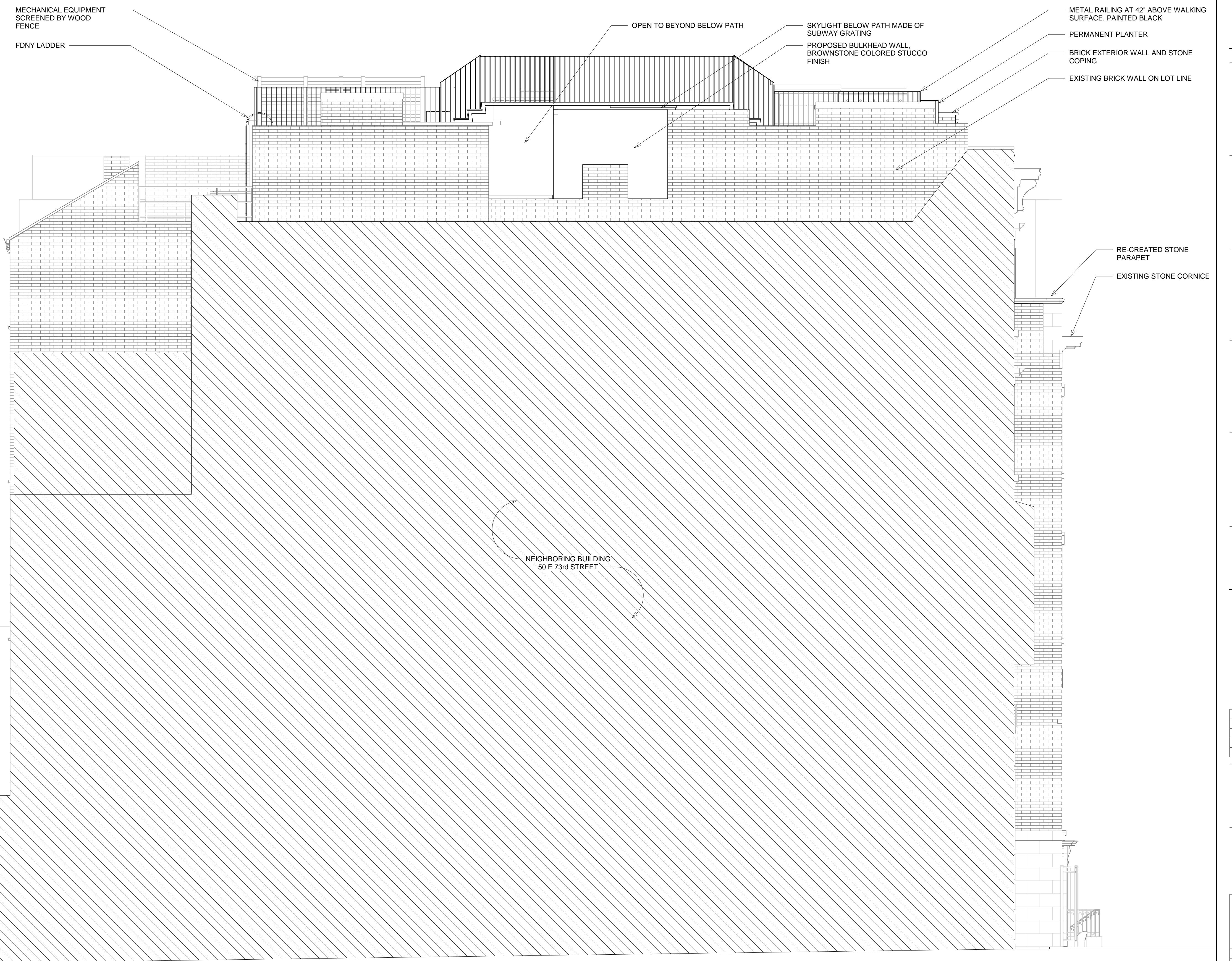
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PROPOSED ELEVATION - EAST

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.:	0158	SCALE:	1/4" = 1'-0"
DRAWING NO.:	L-204.00		



REGISTERED ARCHITECT
Daniel Kaplan
No. 037717
STATE OF NEW YORK



① 02 ELEVATION - EAST
1/4" = 1'-0"

48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
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Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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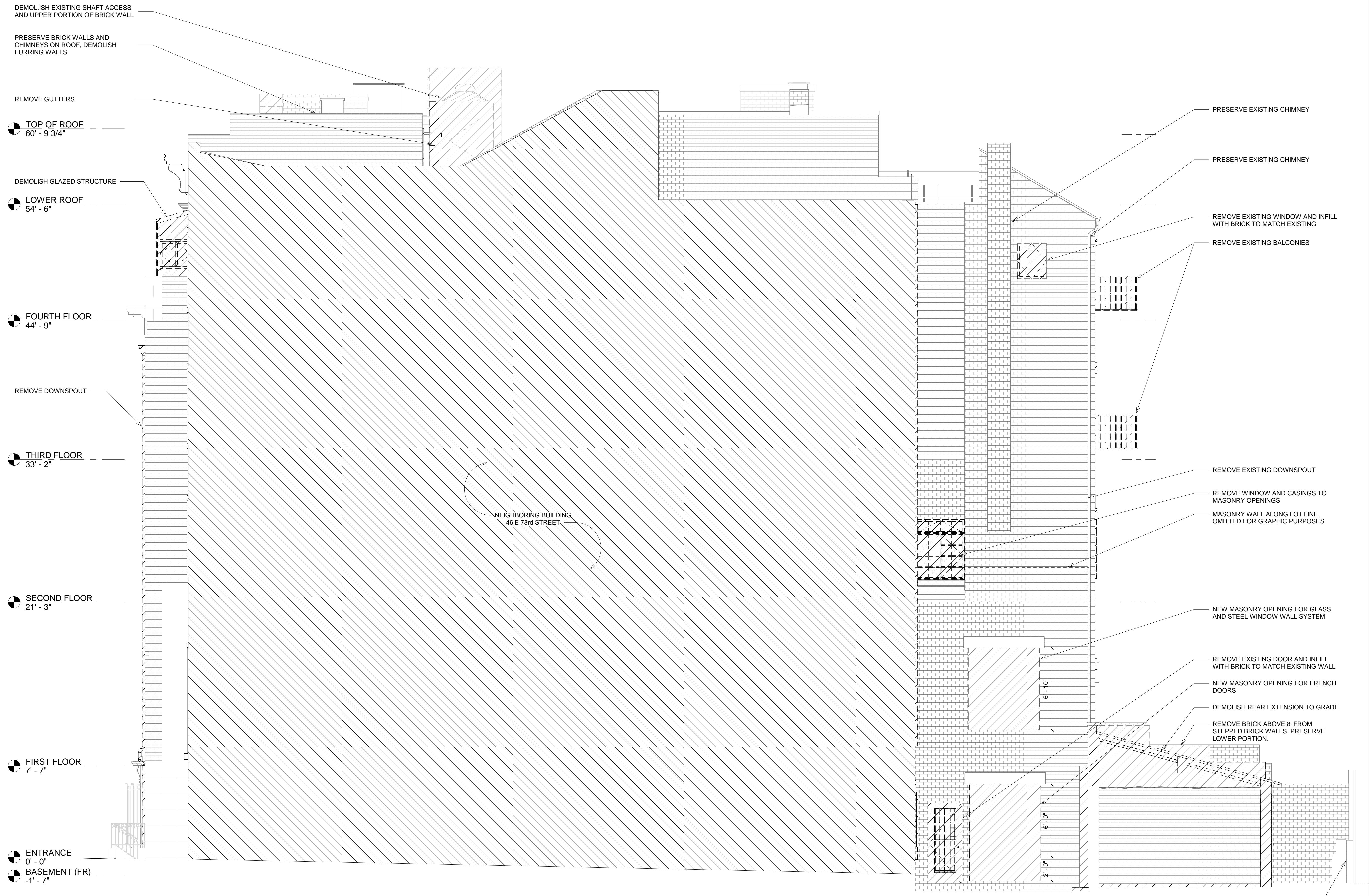
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DEMOLITION ELEVATION -
WEST

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.:	L-205.00		



REGISTERED ARCHITECT
Daniel Kaplan
137717
STATE OF NEW YORK



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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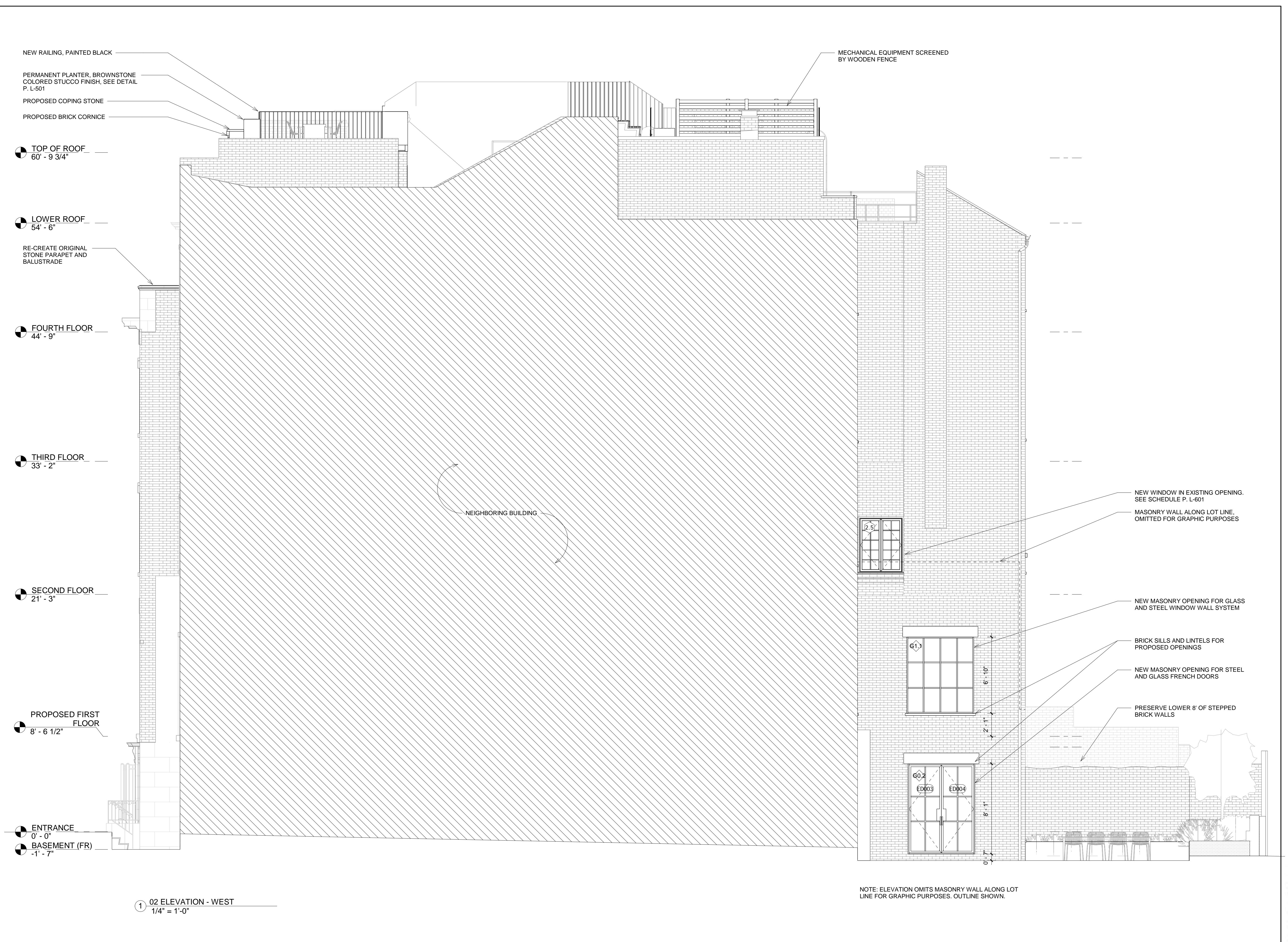
TITLE

PROPOSED ELEVATION - WEST

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.:			

REGISTERED ARCHITECT
Daniel Kaplan
S-037717
STATE OF NEW YORK

L-206.00



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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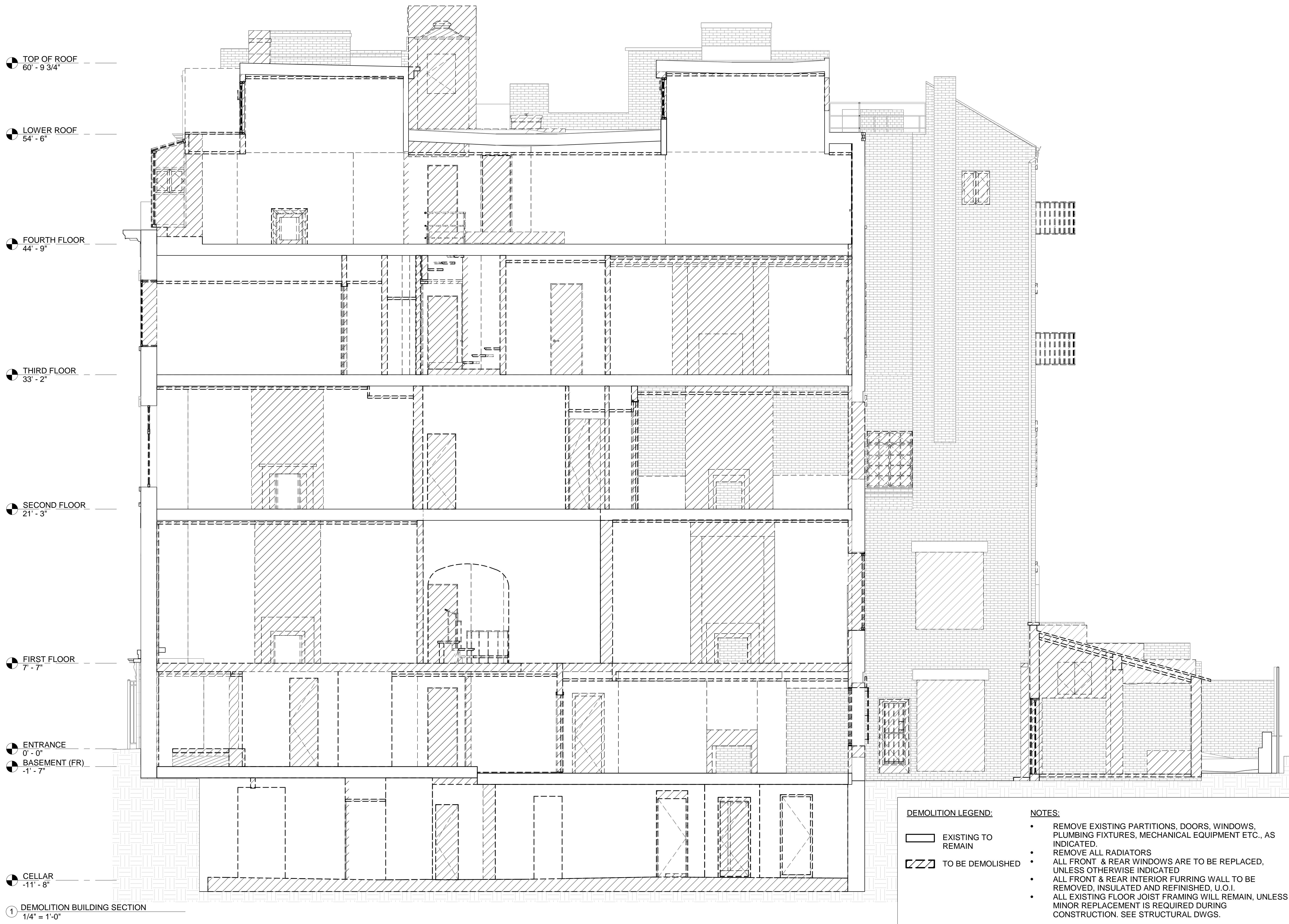
48 East 73rd Street

TITLE

DEMOLITION BUILDING
SECTION

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	2025 10 16		
DATE	0158		
JOB NO.	1/4" = 1'-0"		
SCALE	DRAWING NO.: L-301.00		

REGISTERED ARCHITECT
Daniel Kaplan
S-037717
STATE OF NEW YORK



48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

Owner

US Timber LLC
east73project@gmail.com

Code Consultant

Reuven Kalish
reuven@professionalzoning.com

Structural Engineer

Gasbarro Structural Engineering, PLLC
540 President Street
Brooklyn, NY 11215
Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

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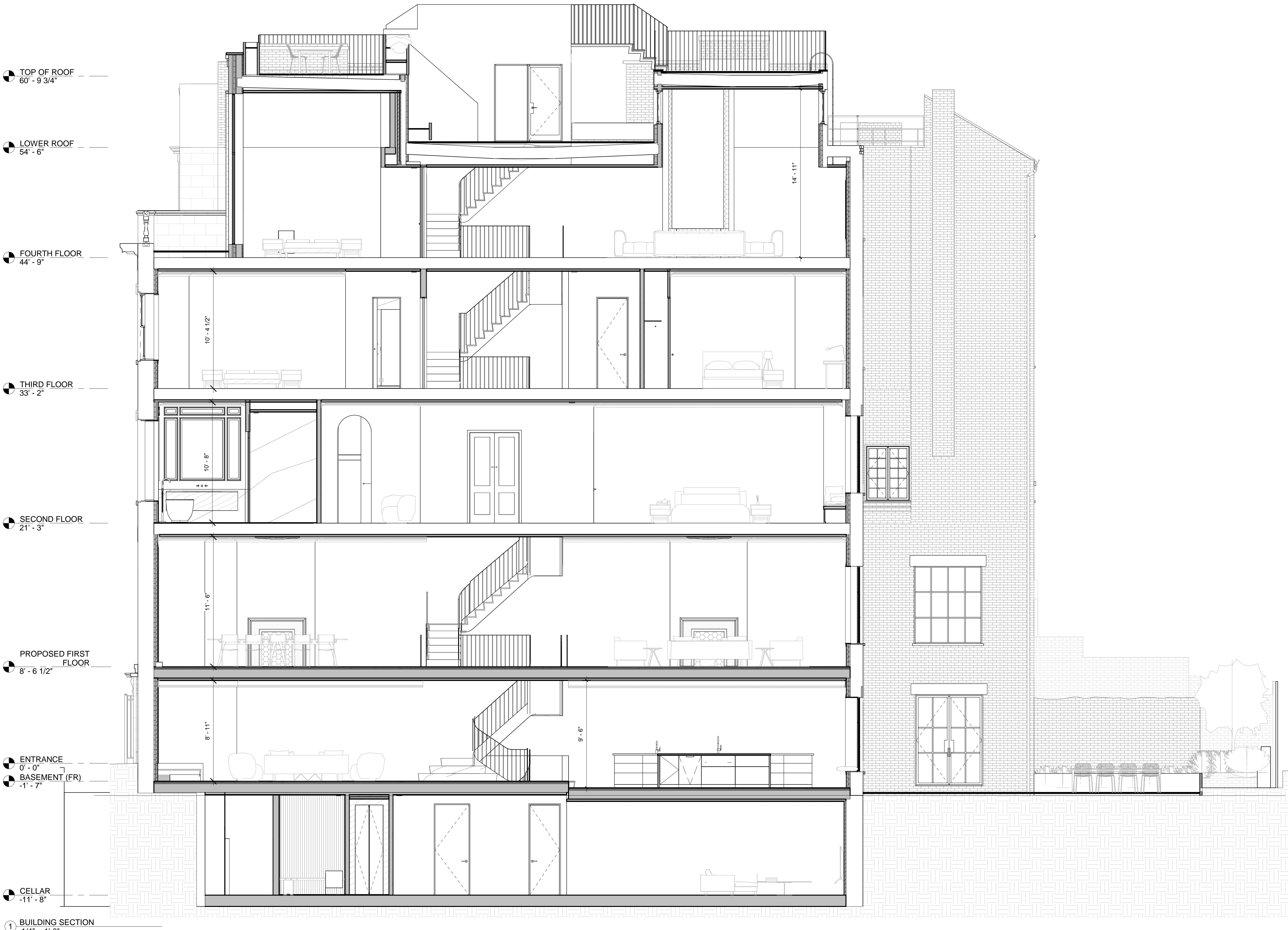
PROPOSED BUILDING
SECTION

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
JOB NO.	0158	SCALE	1/4" = 1'-0"
DRAWING NO.:			

L-302.00



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48 East 73rd Street

NEW YORK, NY 10021

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th Street, Suite 250
Brooklyn, NY 11215
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Tel: 917.670.7969

Mechanical Engineer

Dmitry Levin, PE
Levin Engineering PLLC
28 Dooley Street, 2nd Floor
Brooklyn, NY 11235
tel. 718 332-2266
dlevin@levinengineering.com

LANDMARKS SUBMISSION

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PROJECT

48 East 73rd Street

TITLE

WINDOW & DOOR SCHEDULES

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE		DATE	2025 10 16
		JOB NO.	0158
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

L-601.00

EXTERIOR DOOR SCHEDULE									WINDOW SCHEDULE										
Door Number	Count	Description	Width	Height	Material	Finish	Fire Rating	U-Factor	SHGC	Mark	Type Mark	Manufacturer	Width	Height	Material	Glass	Finish	U-Factor	SHGC
ED001	1		4' - 0"	6' - 8"	Glazed wood frame door	Painted black				0.1	TYPE OO		2' - 10"	6' - 3"	Wood, natural pine				
ED003	1	Steel Frame Glass Door	2' - 10 3/4"	7' - 10 3/4"	Thermally broken steel	Powder Coated Black	N/A	0.21	0.32	1.1	TYPE C	Marvin Windows and Doors	3' - 5 1/2"	8' - 2 1/2"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED004	1	Steel Frame Glass Door	2' - 10 3/4"	7' - 10 3/4"	Thermally broken steel	Powder Coated Black	N/A	0.21	0.32	1.2	TYPE C	Marvin Windows and Doors	3' - 5 1/2"	8' - 2 1/2"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED008	1	Entry Door	4' - 0"	6' - 8"						1.3	TYPE C	Marvin Windows and Doors	3' - 5 1/2"	8' - 2 1/2"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED009	1	Entry Door	4' - 0"	6' - 8"						2.1	TYPE F	Marvin Windows and Doors	3' - 5"	7' - 2 1/2"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED010	1	Pocket Door	2' - 4"	8' - 0"						2.2	TYPE G	Marvin Windows and Doors	4' - 5"	7' - 2 1/2"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED011	1	Entry Door	2' - 6 1/4"	6' - 3"	Glazed wood frame door	Painted black	.28	0.19		2.3	TYPE F	Marvin Windows and Doors	3' - 5"	7' - 2 1/2"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED401	1	Steel Frame Glass Door	2' - 8"	7' - 11"	Thermally broken steel	Powder Coated Black	N/A	0.21	0.32	2.5	TYPE H	Marvin Windows and Doors	3' - 10"	4' - 11"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED501	1	Steel Frame Glass Door	2' - 10 1/4"	6' - 8"	Thermally broken steel	Powder Coated Black	N/A	0.21	0.32	3.1	TYPE I	Marvin Windows and Doors	2' - 5"	5' - 11"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED001	1									3.2	TYPE J	Marvin Windows and Doors	4' - 1"	5' - 11"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED001	1									3.3	TYPE I	Marvin Windows and Doors	2' - 5"	5' - 11"	Wood, natural pine	Insulated - Low E3- Argon	Painted black	0.26	0.2
ED002	1									3.4	TYPE K	Marvin Windows and Doors	2' - 10 3/4"	6' - 4 1/2"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									3.5	TYPE K	Marvin Windows and Doors	2' - 10 3/4"	6' - 4 1/2"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
SEE GLASS WALL SCHEDULE FOR STEEL AND GLASS EXTERIOR DOORS INTEGRATED WITHIN.										4.1	TYPE L	Marvin Windows and Doors	2' - 10"	5' - 3"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED001	1									4.2	TYPE L	Marvin Windows and Doors	2' - 10"	5' - 3"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.1	TYPE M	Marvin Windows and Doors	5' - 0"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.2	TYPE N	Marvin Windows and Doors	4' - 5"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.3	TYPE N	Marvin Windows and Doors	4' - 5"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.4	TYPE P	Marvin Windows and Doors	4' - 5"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.5	TYPE P	Marvin Windows and Doors	4' - 5"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.6	TYPE M	Marvin Windows and Doors	5' - 0"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.7	TYPE M	Marvin Windows and Doors	5' - 0"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.8	TYPE M	Marvin Windows and Doors	5' - 0"	3' - 0"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									5.9	TYPE O	Marvin Windows and Doors	3' - 8"	3' - 2"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED002	1									6.1	TYPE O	Marvin Windows and Doors	3' - 8"	3' - 2"	Wood, aluminum clad	Insulated - Low E3- Argon	Aluminum clad black	0.26	0.2
ED001	1																		
ED002	1																		
SEE GLASS WALL SCHEDULE FOR STEEL AND GLASS EXTERIOR DOORS INTEGRATED WITHIN.																			
ED001	1																		
ED002	1																		
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ED002	1			</															

CHEMICALLY REMOVING PAINT AND SALTS/ EFFLORESCENCE FROM MASONRY AND BRICK

CLEANING AND REMOVING PAINT
Notes adapted from the LPC Permit Guidebook.

REMOVAL METHODS:
The cleaning and paint removal methods and products should be the gentlest possible to avoid causing damage.
Start with the mildest possible form of cleaning (such as mild soap, water, and a soft bristle brush) before proposing a stronger method.
Pressure Washer:
A pressure washer can be used to clean the facade and remove paint but should not be used on wood or other fragile surfaces. Water pressure cannot exceed 500 psi on masonry or 300 psi on cast iron.
Tip: To clean and remove paint or coatings, begin with the lowest possible water pressure and hold the nozzle at a safe distance. As needed, increase to the maximum allowable pressure.
Chemical Detergents:
Chemical detergents can be permitted, as long as they do not damage historic materials.
Tip: Testing multiple products in consultation with LPC is the best way to find a cleaner that does not damage historic materials. Products should be tested in a small, discreet area.
Sandblast Cleaning:
Sandblast cleaning ("sandblasting") is prohibited.

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DOB EXAMINER - SEAL & SIGNATURE

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48 East 73rd Street

TITLE

APPENDIX

ZONING DISTRICT	R6B	BLOCK	1387
ZONING MAP	16C	LOT	45
SEAL & SIGNATURE	DATE	2025 10 16	
SCALE:	JOB NO.:	0158	
DRAWING NO.:			

REGISTERED ARCHITECT
Daniel Kaplan
BOWERBIRD ARCHITECTS
124 9th Street, Suite 250
Brooklyn, NY 11215
Tel: 917.447.7855

L-602.00