

PROPOSED REAR YARD ADDITION, ROOFTOP ADDITION, & INTERIOR RENOVATION

63 E 93RD STREET, NEW YORK, NY 10128

PROPOSED PROJECT DESCRIPTION:
PROPOSED ALT-1 INTERIOR RENOVATION W/ PROPOSED REAR YARD ADDITION AND ROOFTOP ADDITION.

ZONING INFORMATION:
BOROUGH: MANHATTAN
TAX BLOCK: 1505
TAX LOT: 28
ADDRESS: 63 E 93RD ST, NEW YORK, NY 10128
LAND USE: ONE & TWO FAMILY BUILDINGS
ZONING: R8B
SPECIAL PURPOSE DISTRICT: -
HISTORIC DISTRICT: EXPANDED CARNEGIE HILL HISTORIC DISTRICT
ZONING MAP: 6B
HISTORICAL ZONING MAP: 6B

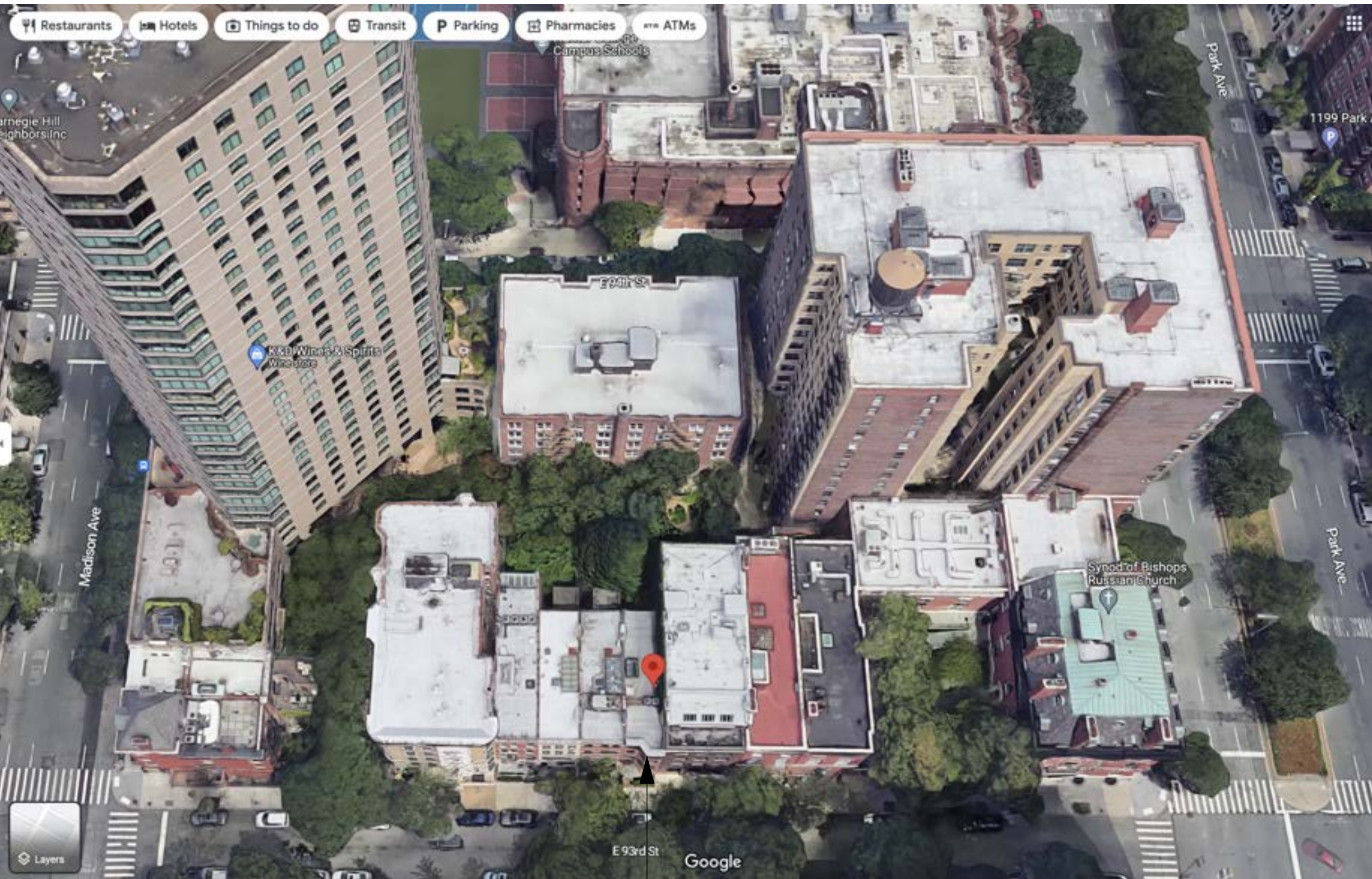
PROPERTY INFORMATION FROM 'EXPANDED CARNEGIE HILL HISTORIC DISTRICT DESIGNATION REPORT':

63 East 93rd Street
Borough of Manhattan Tax Map Block/Lot: 1505/28
Date: 1891 [NB 897-1890]
Architect: A.B. Ogden & Son
Owner/Developer/Builder: Patrick McMorrow
Type: Rowhouse
Style/Ornament: Renaissance Revival
Number of Stories: 3 and basement

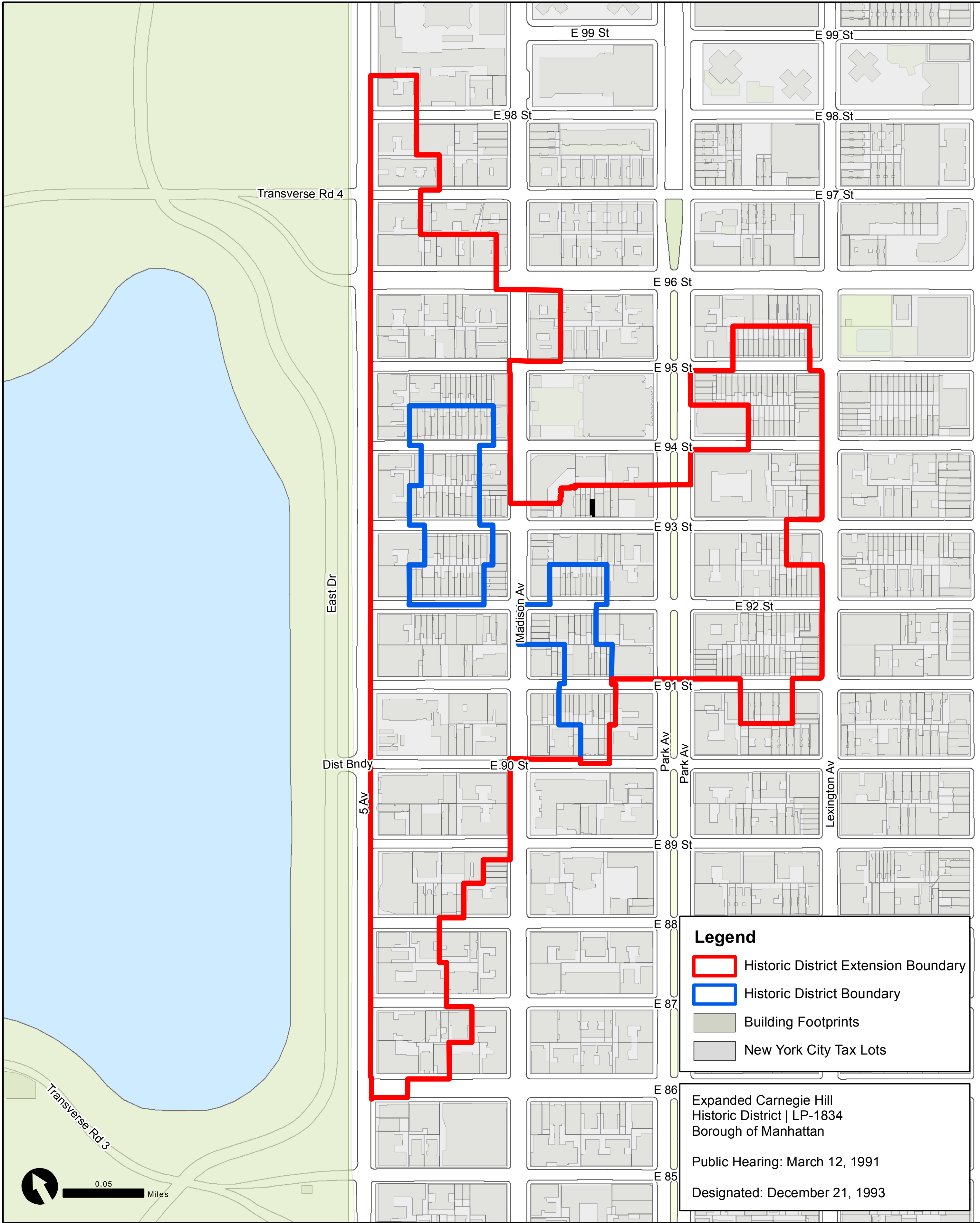
This fifteen-foot-wide rowhouse, located near the middle of the block, was designed in the Renaissance Revival style by the prolific firm of A.B. Ogden & Son and erected in 1891 by builder/developer Patrick McMorrow. Born in Ireland, McMorrow (1843/44-1915) became one of the first builders of apartment houses in New York, a field in which he was an innovator in the use of the elevator and fireproof construction, and headed his own engineering and construction firm. No. 63 East 93rd Street was erected as a private dwelling of three stories and a basement on the same New Building Application as No. 65, a five-story two-family dwelling (substantially altered; see below).

The brownstone facade retains its projecting angled bay at the east, rock-faced stone basement, window openings with carved moldings (below the third story), carved panel above the original entrance, stringcourses dividing the stories, and cornices above the third-story window enframements. In 1955-56 architect Frank S. Lindgren converted the one-family residence with a doctor's office into a two-family dwelling for owner Robert H. Counsbury [ALT 284-1955]. Possibly dating from that time are the removal of the stoop, the conversion of the parlor-story entrance into a window, the addition of a paneled door surround at the basement, and the loss of the cornice. The basement contains a wood door with a glazed pane, one-over-one double-hung wood sash windows, and original iron window grilles; the cellar opening also has an original grille. At the parlor story, multi-paned wood French doors survive at the former entrance; otherwise the windows are replacements and are covered with non-historic grilles. Second-story openings have historic one-over-one double-hung wood sash; third-story openings are covered by storm windows. At both stories there are historic iron guards. The areaway fence appears to date from the 1950s.

Significant Reference
Patrick McMorrow obituary, New York Times, Feb. 24, 1915, p. 9.



Expanded Carnegie Hill Historic District | LP-1834



Graphic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LCR Date: 1.29.2019

01. EXPANDED CARNEGIE HILL HISTORIC DISTRICT MAP

RES 4

BY RESOLUTION: 4 ARCHITECTURE

SCOPE OF WORK:
DOB ALTERATION TYPE 1
PROPOSED REAR YARD ADDITION:
PROPOSED ROOFTOP ADDITION:
PROPOSED INTERIOR RENOVATION TO INCLUDE REMOVAL AND INSTALLATION OF NON-BEARING INTERIOR PARTITIONS AND RELATED FINISHES, REPLACEMENT OF PLUMBING, ELECTRICAL, AND MECHANICAL, AND INSTALLATION OF NEW FLOORING, CABINERY, FIXTURES, AND APPLIANCES.

DRAWING SET SHEET INDEX	
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A-001.00	SANBORN MAPS
A-002.00	BLOCK PLAN
A-003.00	STREET FACADE
A-004.00	HISTORIC TAX PHOTOGRAPHS
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A-006.00	CONTEXT PHOTOS - REAR YARD
A-030.00	WINDOW SCHEDULE & TYPES
A-100.00	DEMOLITION PLANS
A-101.00	DEMOLITION PLANS
A-110.00	CONSTRUCTION PLANS
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A-212.00	PROPOSED SECTION
A-213.00	PROPOSED SECTION
A-300.00	WALL SECTION
A-400.00	SUPPLEMENTAL 3D VIEWS
A-500.00	CONTEXT PHOTOS - MOCK-UP
A-500.00	CONTEXT PHOTOS - MOCK-UP
A-502.00	MODEL VIEW - BOOKEND CONDITION
A-503.00	MODEL VIEW - AXONOMETRIC VIEW
A-504.00	MODEL VIEW - AXONOMETRIC VIEW
A-505.00	CONTEXT PHOTOS - PUBLIC COURTYARD
A-506.00	CONTEXT PHOTOS - PUBLIC COURTYARD
A-507.00	CONTEXT PHOTOS - PUBLIC COURTYARD
A-508.00	CONTEXT PHOTOS - PUBLIC COURTYARD
A-509.00	CONTEXT PHOTOS - PUBLIC COURTYARD
A-510.00	CONTEXT PHOTOS - PUBLIC COURTYARD
A-511.00	CONTEXT PHOTOS - PUBLIC COURTYARD

LEGEND	
02-A2.00	ELEVATION MARKER
101	WINDOW TAG (REF WINDOW SCHEDULE)
101A	DOOR TAG (REF DOOR SCHEDULE)
XX-X	MATERIAL TAG (REF FINISH SCHEDULE FOR CODE)
XXX	APPLIANCE TAG (REF APPLIANCE SCHEDULE FOR CODE)

LPC SUBMISSION

Issue Date: 03/06/2023
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DOCKET# LPC-23-05878

63 E 93RD STREET
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NEW YORK, NY 10128

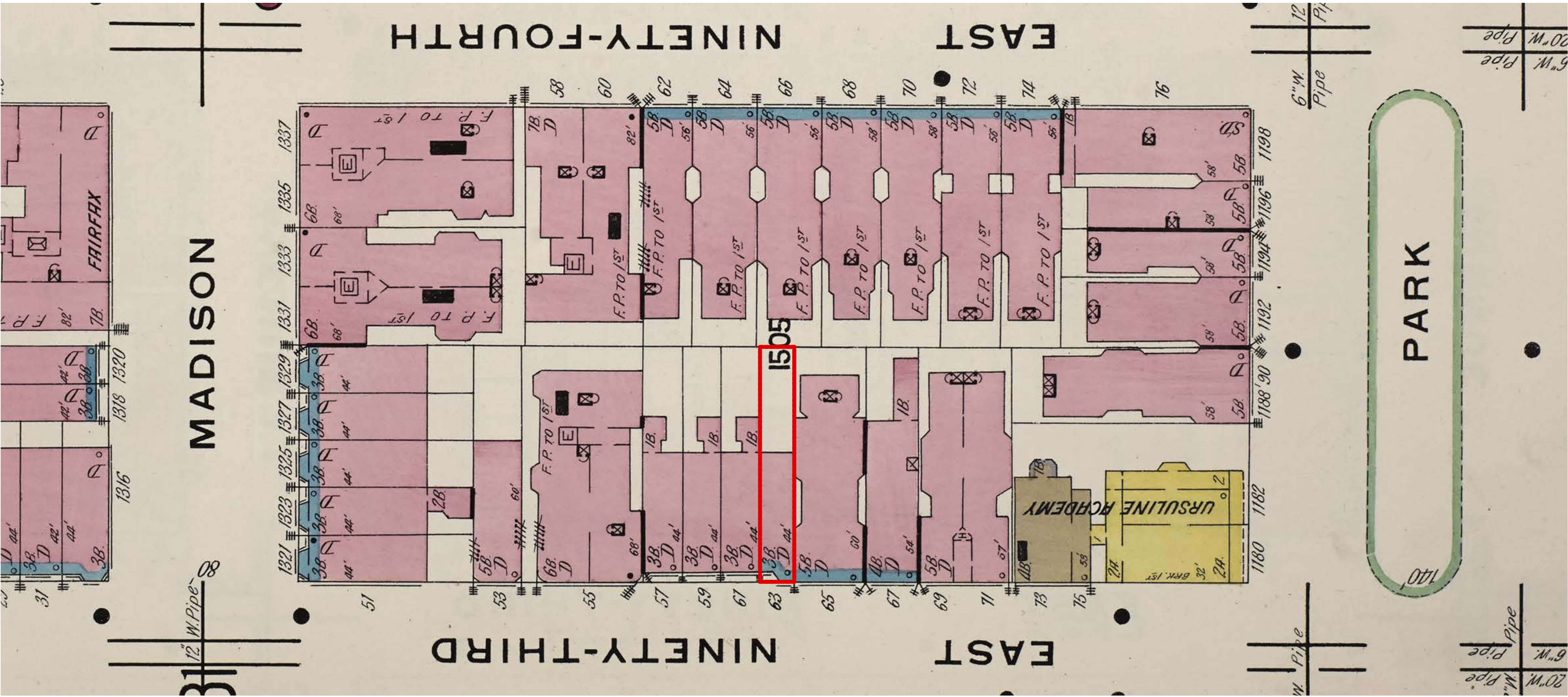
RESOLUTION: 4 ARCHITECTURE
150 WEST 28TH STREET, SUITE 1902, NEW YORK, NY 10001
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COVER SHEET

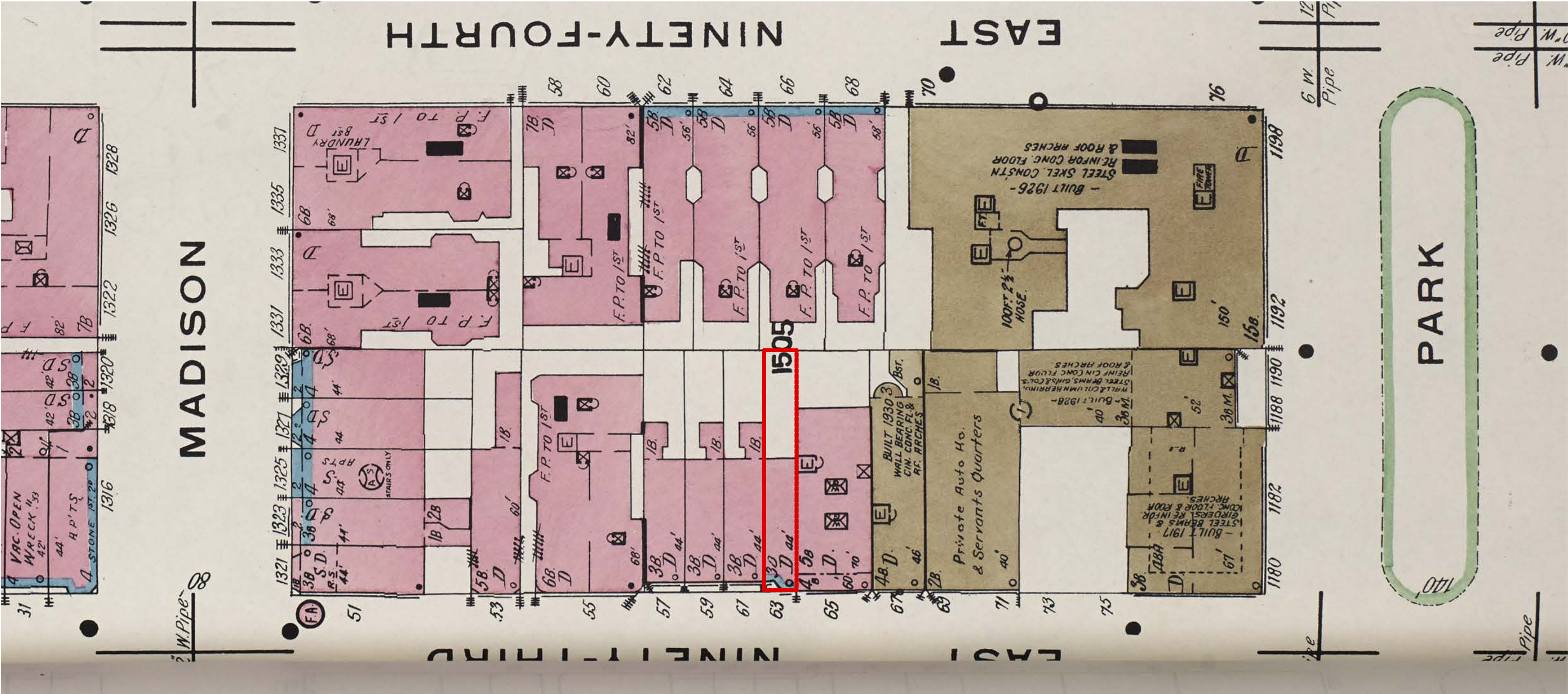
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SCALE: AS NOTED 1 OF 36

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01. 1911 SANBORN MAP OF '63 E 93RD STREET' & CONTEXT



02. 1939 SANBORN MAP OF '63 E 93RD STREET' & CONTEXT

BLOCK PLAN LEGEND:

63 E. 93RD STREET (SITE)

BUILDING

2-STORY ADDITION

3-STORY ADDITION

4-STORY ADDITION

EXPANDED CARNEGIE HILL HISTORIC DISTRICT BOUNDARY

VIEWS FROM COURTYARD OF 63 E. 93RD STREET

KEYED VIEW

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BLOCK PLAN

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E 94TH ST

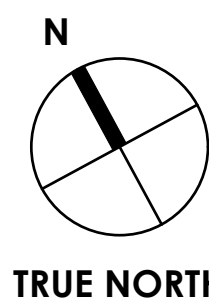
MADISON AVE

PARK AVE

PUBLIC
COURTYARD

E 93RD ST

63





55

57

59

61

63

65

RES4

BY RESOLUTION: 4 ARCHITECTURE

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STREET FACADE -
E 93RD STREET

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01. 1940 TAX PHOTO



02. 1985 TAX PHOTO

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HISTORIC TAX PHOTOGRAPHS

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01. VIEW LOOKING EAST



02. VIEW OF EXISTING PRIMARY FACADE



03. VIEW LOOKING WEST

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CONTEXT PHOTOS - FRONT
YARD

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CONTEXT PHOTOS - REAR
YARD

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RES4

BY RESOLUTION: 4 ARCHITECTURE

REAR ADDITION & ROOF ADDITION WINDOW / DOOR NOTES:

- ALL WINDOWS TO BE MARVIN SIGNATURE COLLECTION MODERN SERIES, U.O.N.
- ALL DOORS TO BE MARVIN SIGNATURE COLLECTION MODERN SERIES, U.O.N.
- EXTERIOR FINISH: EBONY
INTERIOR FINISH: EBONY
CASEMENT WINDOW HARDWARE: MODERN FOLDING CRANK-OUT HANDLE MATTE BLACK FINISH
SWINGING DOOR HARDWARE: MODERN DOOR HANDLE W/ MULTI-POINT LOCK MATTE BLACK FINISH KEYED ALIKE
- ALL GLASS TO BE LOW-E2 DUAL-PANE ARGON-FILLED INSULATING UNITS, PROVIDE TEMPERED GLASS AS REQ'D FOR SAFETY GLASS LOCATIONS.
- ALL OPERABLE WINDOWS TO HAVE STANDARD INSECT SCREENS. FINISH OF SCREEN FRAME TO MATCH WINDOW INTERIOR FINISH (EBONY).
- PROVIDE ALL UNITS W/ ALUM. DRIP CAP & NAILING FINS. PROVIDE CORROSION-RESISTANT STAINLESS STEEL HINGES, LOCK BOXES, STRIKE PLATES, FASTENERS, ARM OPERATORS, ETC.
- PROVIDE PERFORMANCE SILL FOR ALL SWINGING DOORS. EBONY FINISH.
- HANDING MAY VARY: REFER TO CONSTRUCTION PLANS & EXTERIOR ELEVATIONS TO VERIFY HINGE LOCATION OF SWINGING DOORS & OPERABLE WINDOWS.
- INSTALL ALL WINDOWS / DOORS / FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
- ROUGH OPENINGS: ALLOW 1/2" SHIM SPACE @ HEAD, SILL & JAMBS, TYP. U.O.N.
- REFER TO RCP FOR MOTORIZED ROLLER SHADES LOCATIONS AND SPECIFICATIONS.
- OPERABLE WINDOWS W/ SILL BELOW 36" AFF SHALL BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE (WOC/D) TO LIMIT OPENING TO LESS THAN 4" PER BC 1015.8, TYP.

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WINDOW SCHEDULE & TYPES

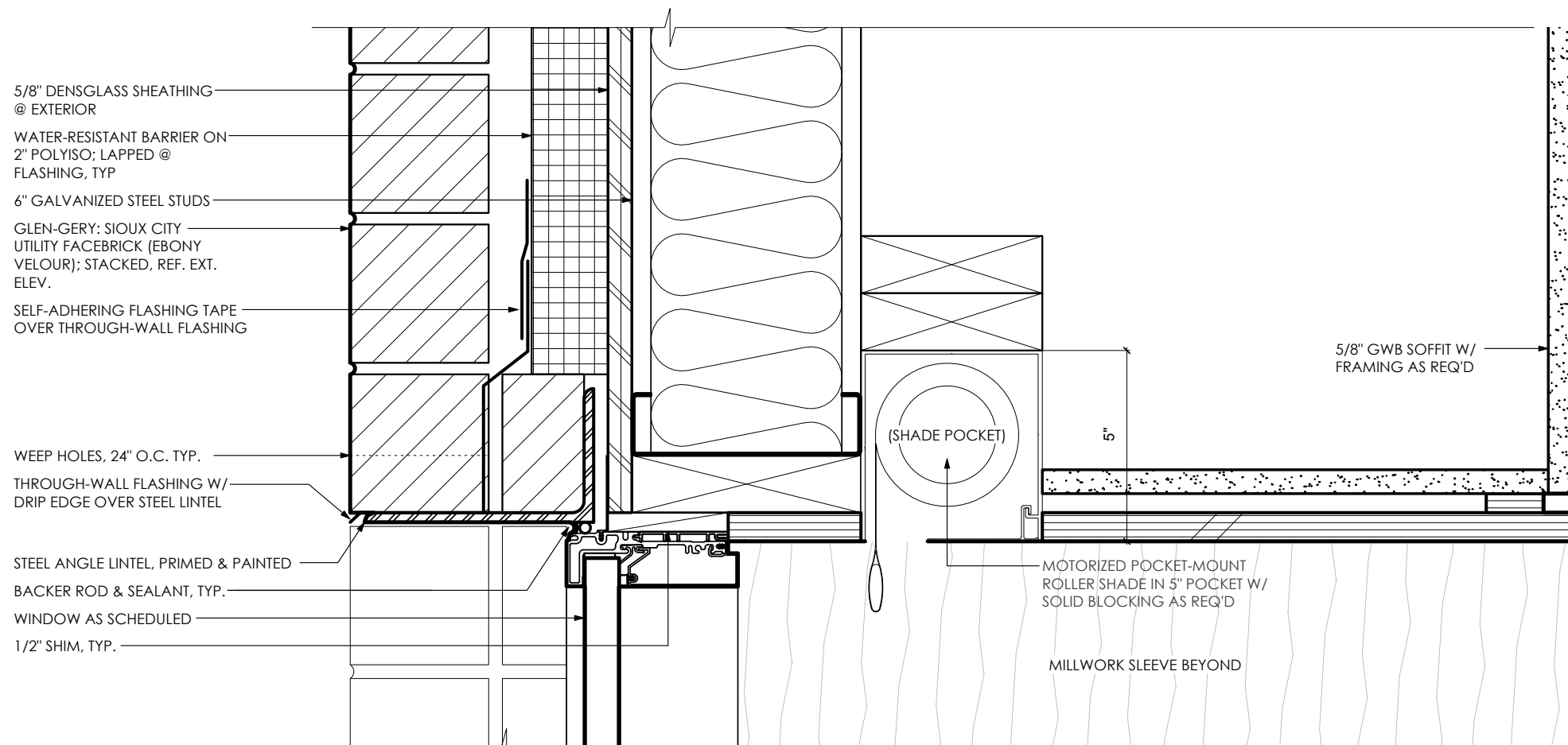
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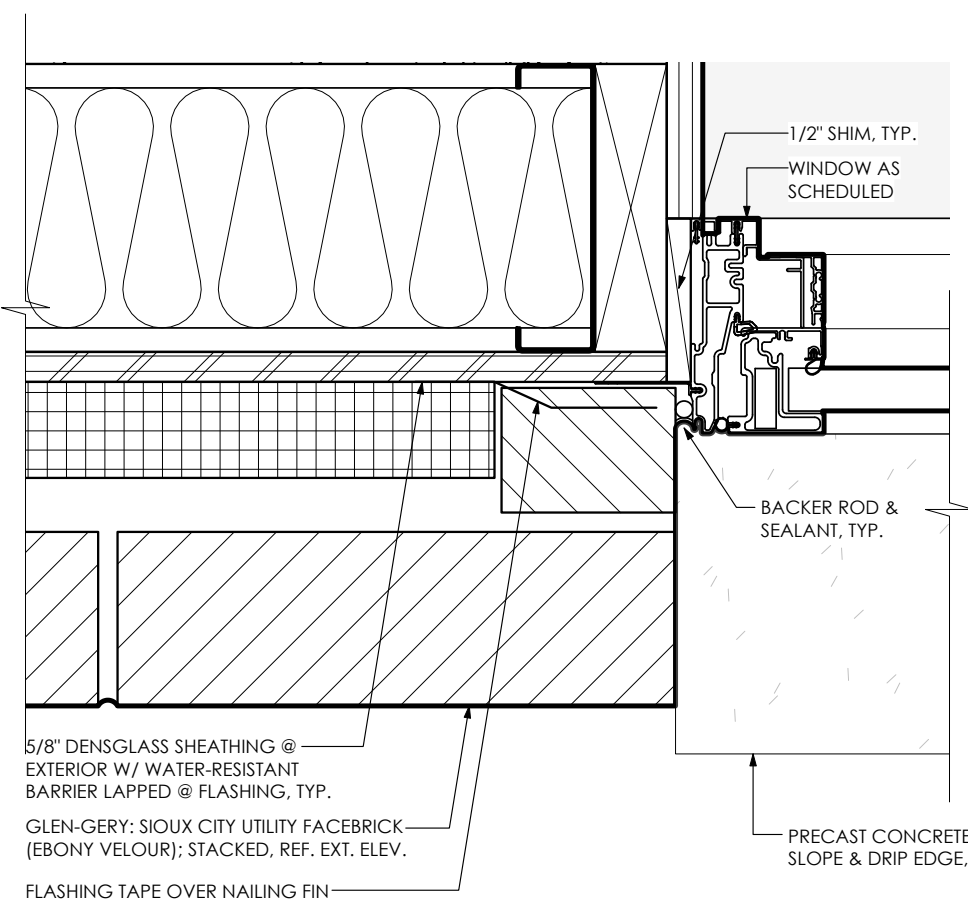
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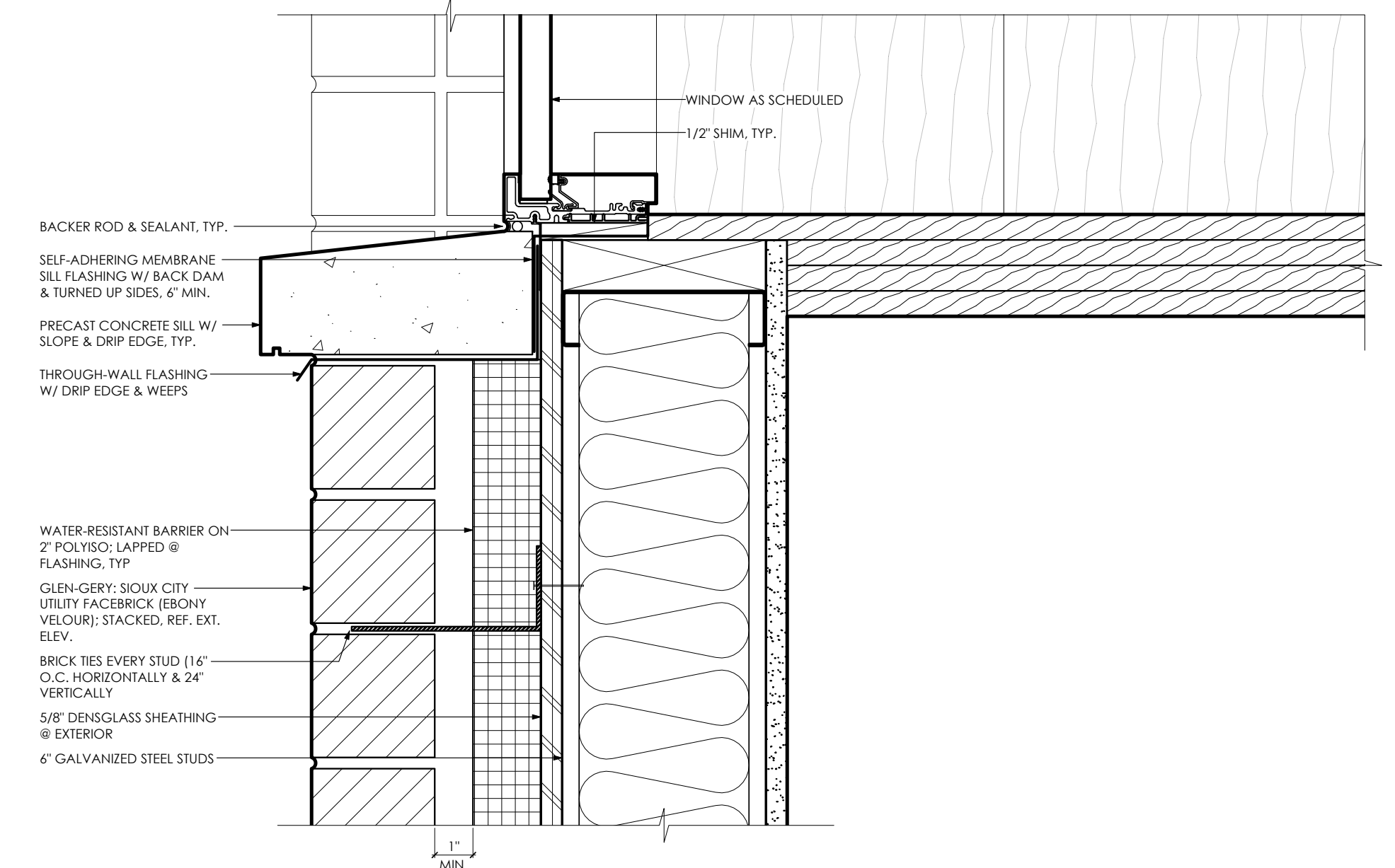
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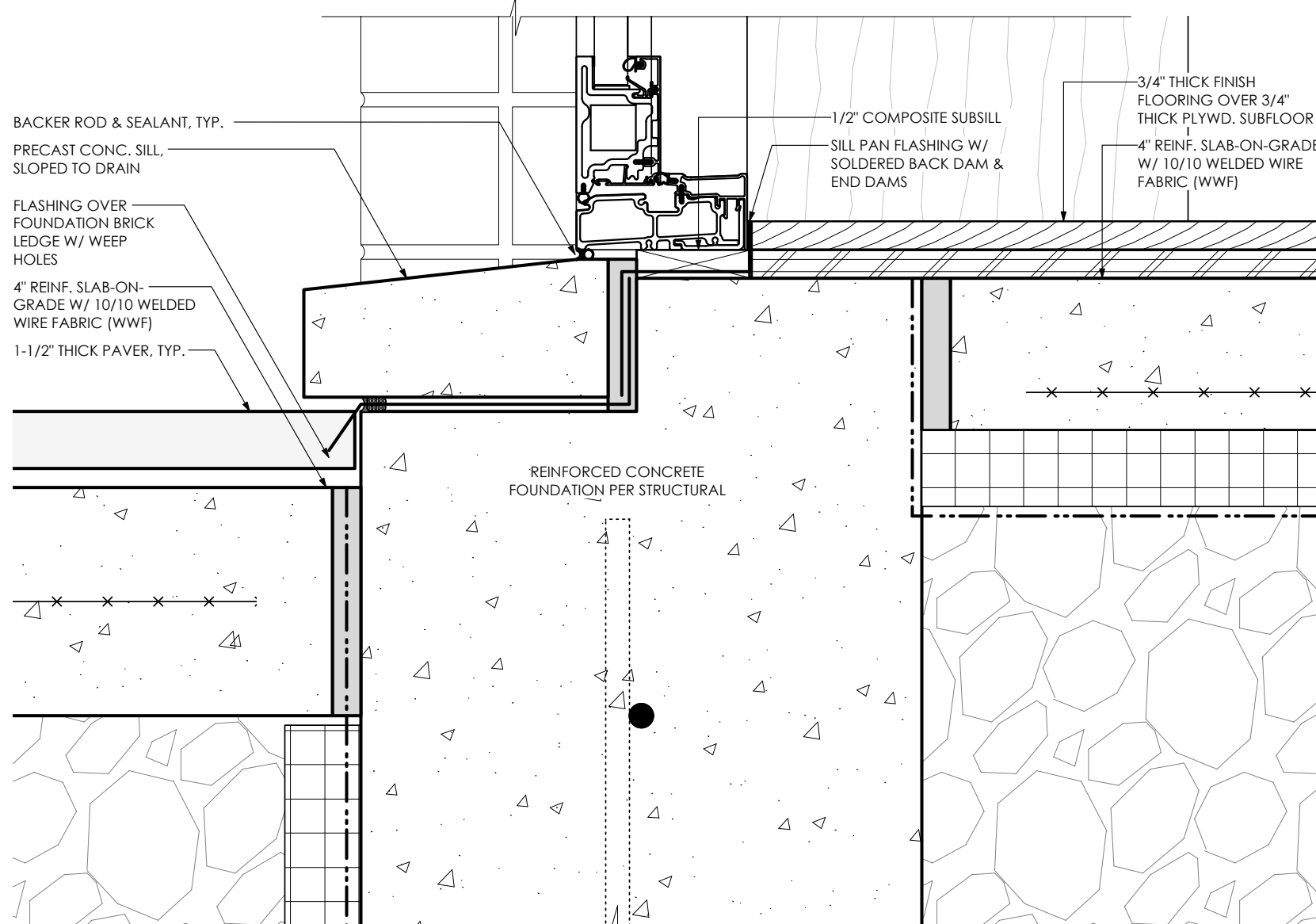
04 TYP. HEAD DETAIL @ BRICK FACADE
3" = 1'-0"



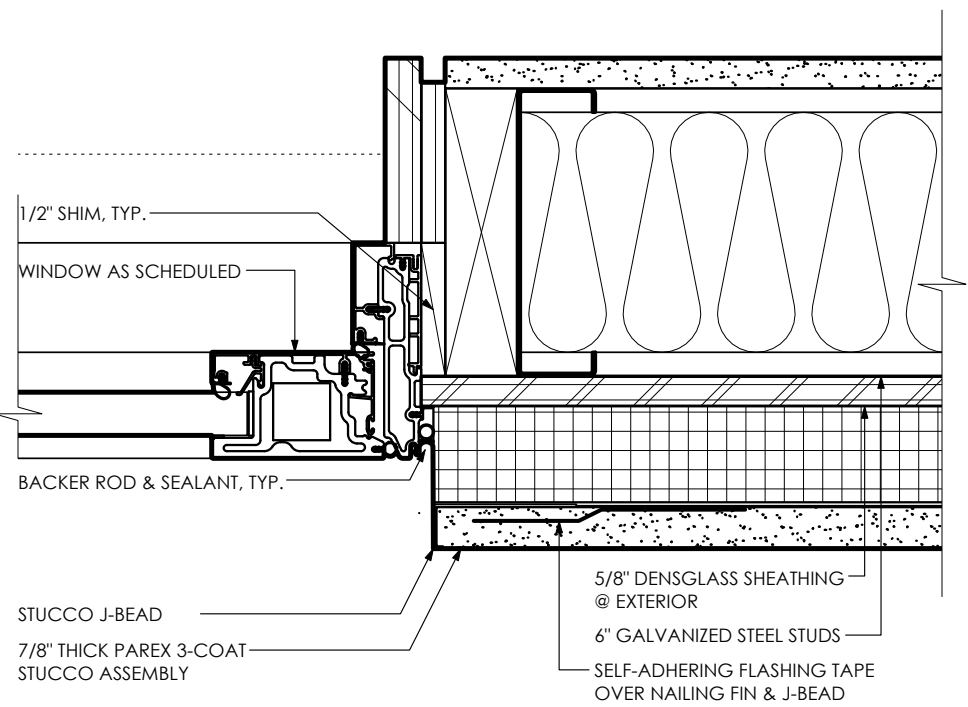
06 TYP. JAMB DETAIL @ BRICK FACADE
3" = 1'-0"



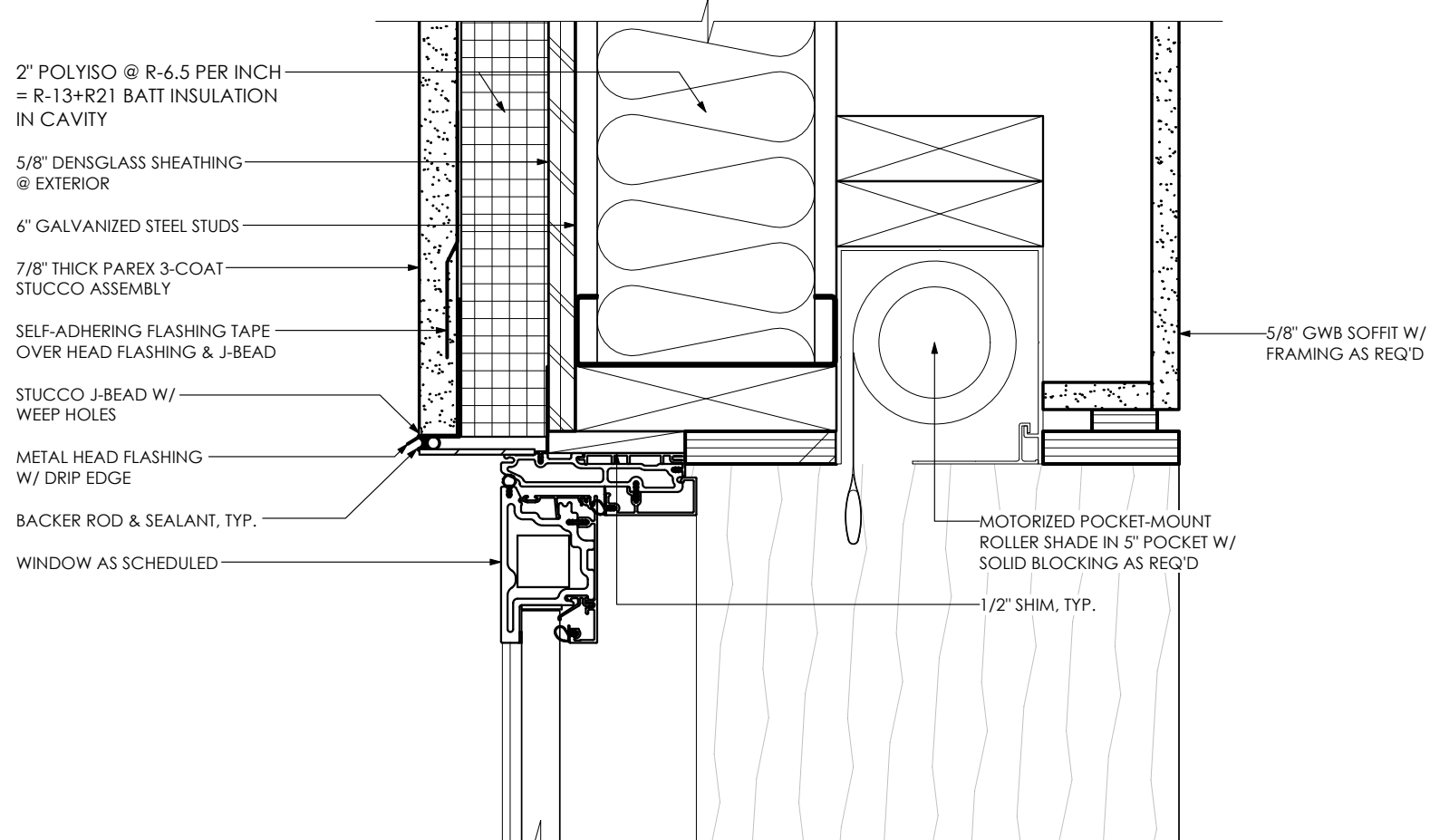
03 TYP. SILL DETAIL @ BRICK FACADE
3" = 1'-0"



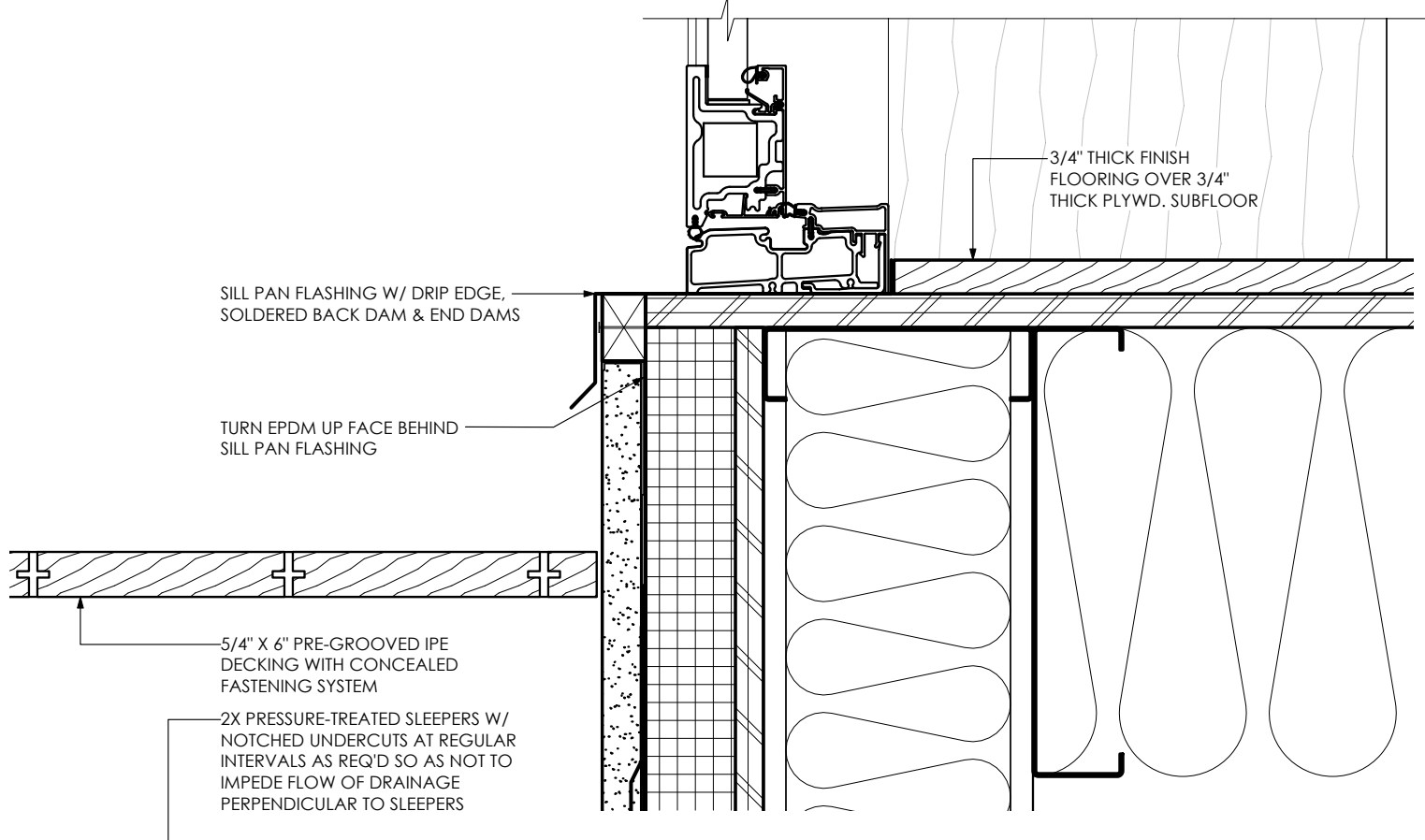
05 SILL DETAIL @ GUEST BEDROOM
3" = 1'-0"



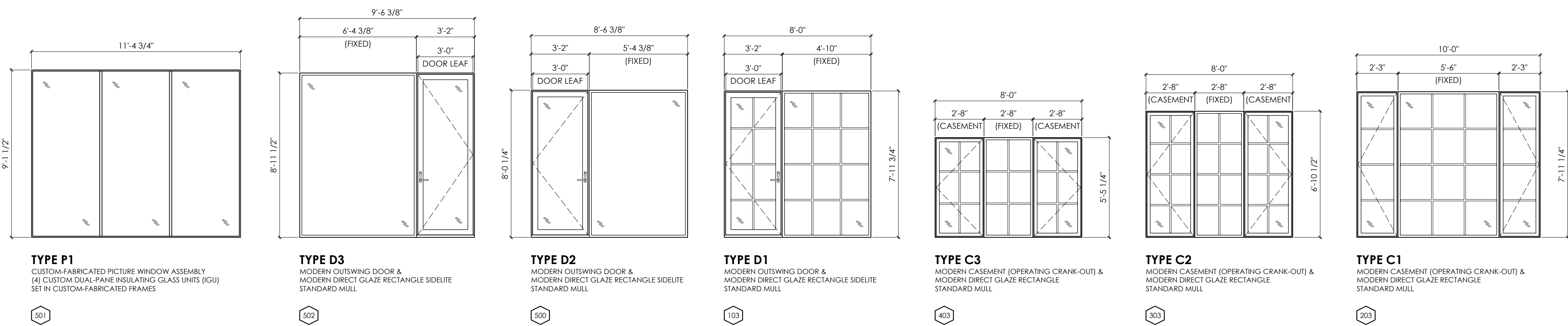
09 TYP. JAMB DETAIL @ STUCCO FACADE
3" = 1'-0"



08 HEAD DETAIL @ ROOFTOP ADDITION
3" = 1'-0"



07 SILL DETAIL @ ROOFTOP ADDITION
3" = 1'-0"



02 NEW WINDOW TYPES

WINDOW SCHEDULE					DETAILS				ENERGY PERFORMANCE		REMARKS
NO.	LOCATION	TYPE	MANF.	DESCRIPTION	UNIT SIZE (W X H)	HEAD	SILL	JAMBS	U-FACTOR	SHGC	
100	101 ENTRY	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-10 1/2" X 5'-6" VIF	--	--	--	--	--	--
101	101 ENTRY	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-2" X 5'-6" VIF	--	--	--	--	--	--
102	100 ENTRY VESTIBULE	--	--	EXISTING WOOD ENTRY DOOR TO REMAIN	3'-0" X 8'-0" VIF	--	--	--	--	--	--
103	111 BEDROOM	D1	MARVIN	MODERN SERIES: OUTSWING DOOR + DIRECT GLAZE RECT. SIDELITE (STANDARD MULL)	8'-0" X 7'-11 3/4"	04 A-020	05 A-020	06 A-020	0.27	0.36	--
200	200 LIVING ROOM	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-10 1/2" X 7'-1" VIF	--	--	--	--	--	--
201	200 LIVING ROOM	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-2" X 7'-1" VIF	--	--	--	--	--	--
202	200 LIVING ROOM	--	--	HISTORICAL FRENCH DOOR REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	3'-2 1/2" X 8'-11 1/2" VIF	--	--	--	--	--	--
203	204 DINING ROOM	C1	MARVIN	MODERN SERIES: CASEMENT + DIRECT GLAZE RECT. + CASEMENT (STANDARD MULL)	10'-0" X 7'-11 1/4"	04 A-020	03 A-020	06 A-020	0.27	0.36	PROVIDE W.O.C.D.
300	300 OFFICE	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-10 1/2" X 6'-9" VIF	--	--	--	--	--	--
301	300 OFFICE	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-2" X 6'-9" VIF	--	--	--	--	--	--
302	300 OFFICE	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-7" X 6'-9" VIF	--	--	--	--	--	--
303	310 BEDROOM	C2	MARVIN	MODERN SERIES: CASEMENT + DIRECT GLAZE RECT. + CASEMENT (STANDARD MULL)	8'-0" X 6'-10 1/2"	04 A-020	03 A-020	06 A-020	0.27	0.28	PROVIDE W.O.C.D.
400	400 BEDROOM	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-10 1/2" X 6'-4" VIF	--	--	--	--	--	--
401	400 BEDROOM	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-2" X 6'-4" VIF	--	--	--	--	--	--
402	400 BEDROOM	--	--	HISTORICAL WINDOW REPLACEMENT TO BE FILED UNDER SEPARATE APPLICATION	2'-7" X 6'-4" VIF	--	--	--	--	--	--
403	410 BEDROOM	C3	MARVIN	MODERN SERIES: CASEMENT + DIRECT GLAZE RECT. + CASEMENT (STANDARD MULL)	8'-0" X 5'-5 1/4"	04 A-020	03 A-020	06 A-020	0.27	0.28	PROVIDE W.O.C.D.
500	501 SHADED ROOF DECK	D2	MARVIN	MODERN SERIES: OUTSWING DOOR + DIRECT GLAZE RECT. SIDELITE (STANDARD MULL)	8'-6 3/8" X 8'-0 1/4"	08 A-020 SIM.	07 A-020 SIM.	09 A-020 SIM.	0.27	0.36	--
501	501 SHADED ROOF DECK	P1	CUSTOM	CUSTOM-FABRICATED PICTURE WINDOW ASSEMBLY	11'-4 3/4" X 9'-1 1/2"	--	--	--	0.26	0.27	(4) CUSTOM INSULATED GLAZING UNITS (IGU) SET IN CUSTOM FABRICATED FRAMES
502	504 ROOF DECK	D3	MARVIN	MODERN SERIES: OUTSWING DOOR + DIRECT GLAZE RECT. SIDELITE (STANDARD MULL)	9'-6 3/8" X 8'-11 1/2"	08 A-020	07 A-020	09 A-020	0.27	0.36	--

NOTE: GRAY SHADED CELLS INDICATE WINDOWS LOCATED AT THE LANDMARKED FRONT FACADE - WINDOW REPLACEMENTS WILL BE FILED UNDER SEPARATE APPLICATION

01 WINDOW SCHEDULE

DEMOLITION NOTES

- WALLS/CEILINGS**
- 01. REMOVE INTERIOR NON LOAD-BEARING PARTITIONS THROUGHOUT U.O.N.
 - 02. REMOVE SOFFITS/CEILINGS THROUGHOUT U.O.N.
 - 03. THE EXISTING WALLS AND PLUMBING CLGS./SOFFITS SCH. TO BE REMOVED WILL BE PROBED AND/OR INSPECTED, & SHALL NOT BE LOAD BEARING OR CONTAIN STRUCT. MEMBERS, OR HAVE PLUMBING, VENTILATION AND/OR ELEC. RISER LINES LOCATED WITHIN THEM. NO MODIFICATIONS TO RISERS AND/OR STRUCT. ITEMS WILL BE ALLOWED, IF FOUND DURING DEMOLITION. THE WORK SHALL BE REDESIGNED AROUND THEM.
 - 04. UL-RATED FIRESTOPPING SYSTEM IS TO BE PROVIDED AT ALL CHASES, SHAFTS, DEMISING WALLS & STRUCT. ELEMENTS UNCOVERED DURING CONSTRUCTION.

FLOOR

- FLOOR**
01. REMOVE EXIST. TILE FLOOR & THRESHOLD WITHIN BATHROOMS.
02. REMOVE EXIST. WOOD FLOORING THROUGHOUT.
03. EXISTING FLOOR JOISTS AND SUBFLOORING TO REMAIN, TYP.
04. EXISTING STAIRS TO REMAIN UNTIL REPLACEMENT STAIRS ARE PROVIDED.

WINDOWS/D

- WINDOWS/DOORS**
01. ALL EXIST. WINDOWS AND WINDOW TRIM TO REMAIN
02. REMOVE ALL INTERIOR DOORS, ASSOCIATED DOOR TRIM &
HARDWARE AS INDICATED ON DRAWINGS.

PLUMBING

- PLUMBING**
01. REMOVE ALL FIXTURES & ASSOCIATED BRANCH PLUMBING TO RISER AND WASTE/VENT STACKS.

MECHANICAL

- MECHANICAL**
01. REPLACE ALL INTERIOR DUCTWORK AND MECHANICAL A/C UNITS.
02. HEATING RISERS / BOILER / RADIATORS TO REMAIN, TYP.

ELECTRICAL

- ELECTRICAL**
01. REMOVE EXISTING LIGHTING FIXTURES, BOXES, CONDUIT & ASSOCIATED WIRING.
02. WIRING FOR NEW POWER OUTLETS, SWITCHES, TV & DATA TO BE RELOCATED PER NEW POWER & DATA, AND RCP PLANS.

GAS

- GAS**
01. ALL EXISTING GAS PIPING TO BE CAPPED BACK AT RISER.

DEMOLITION NOTES

- ### DEMOLITION NOTES
1. CONTRACTOR SHALL PERFORM ALL OPERATIONS INCLUDING REMOVAL OF MATERIALS ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY & NEATLY, IN A SYSTEMATIC MANNER.
 2. ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE & SHALL MAKE GOOD ANY DAMAGE TO ADJACENT AREAS.
 3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROGRESSES. ALL MATERIALS TO BE REMOVED SHALL BE LEFT BROOK CLEAN AT THE COMPLETION OF DEMOLITION.
 4. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 12 OF THE NYC BUILDING CODE.
 5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, & MECH. EQUIP. AFFECTED BY REMOVAL OF PARTITIONS, ABANDONED OR REMOVE ALL LINES AND EQUIPMENT FROM THE PROJECT. CONCEAL HIDE OR BELOW FINISH SURFACES. & SHALL BE PROPERLY CAPPED OR GUARDED.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE TO ERECT & MAINTAIN ALL TEMPORARY BARRIER AND PLUGS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF CITY ENGINEERING AND CONSTRUCTION.
 7. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE FEES, OBTAIN ALL PERMITS AND PROVIDE ALL NECESSARY BONDS TO ANY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

LPC SUBMISSION

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03/06/2023

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DEMOLITION PLANS

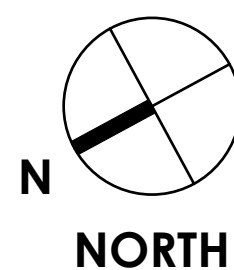
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SCALE: AS NOTED

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- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED

DEMOLITION NOTES

- WALLS/CEILING**
- REMOVE INTERIOR NON-LOAD-BEARING PARTITIONS THROUGHOUT U.O.N.
 - REMOVE SOFFITS/CEILINGS THROUGHOUT U.O.N.
 - THE SUBJECT WALLS & HUNG CLO. SOFFITS SCH. TO BE REMOVED WILL BE PROBED AND/OR INSPECTED, & SHALL NOT BE LOAD-BEARING OR CONTAIN STRUC. MEMBERS, OR HAVE PLUMBING, VENTILATION AND/OR ELEC. RISER LINES LOCATED WITHIN THEM. NO MODIFICATIONS TO RISERS AND/OR STRUC. ITEMS WILL BE ALLOWED. IF FOUND DURING DEMOLITION, THE WORK WILL STOP & BE REDESIGNED AROUND THEM.
 - UL-RATED FIRESTOPPING SYSTEM IS TO BE PROVIDED AT ALL CHASES, SHAFTS, PENETRATING WALLS & STRUC. ELEMENTS UNCOVERED DURING CONSTRUCTION.

- FLOOR**
- REMOVE EXIST. TILE FLOOR & THRESHOLD WITHIN BATHROOMS.
 - REMOVE EXIST. WOOD FLOORING THROUGHOUT.
 - EXISTING FLOOR JOISTS AND SUBFLOORING TO REMAIN, TYP.
 - EXISTING STAIRS TO REMAIN UNTIL REPLACEMENT STAIRS ARE PROVIDED.

- WINDOWS/DOORS**
- ALL EXIST. WINDOWS AND WINDOW TRIM TO REMAIN
 - REMOVE ALL INTERIOR DOORS, ASSOCIATED DOOR TRIM & HARDWARE AS INDICATED ON DRAWINGS.

- PLUMBING**
- REMOVE ALL FIXTURES & ASSOCIATED BRANCH PLUMBING TO RISER AND WASTE/VENT STACKS.

- MECHANICAL**
- REPLACE ALL INTERIOR DUCTWORK AND MECHANICAL A/C UNITS.
 - HEATING RISERS / BOILER / RADIATORS TO REMAIN, TYP.

- ELECTRICAL**
- REMOVE EXISTING LIGHTING FIXTURES, BOXES, CONDUIT & ASSOCIATED WIRING.
 - WIRING FOR NEW POWER OUTLETS, SWITCHES, TV & DATA TO BE RELOCATED PER NEW POWER & DATA, AND RCP PLANS.

- GAS**
- ALL EXISTING GAS PIPING TO BE CAPPED BACK AT RISER.

- DEMOLITION NOTES**
- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION & REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY & NEATLY, IN A SYSTEMATIC MANNER.
 - ALL EXISTING SURFACES & EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE & SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
 - NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS, & ON A DAILY BASIS, THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
 - ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF ARTICLE 19 OF THE NYC BUILDING CODE.
 - REMOVE OR RELOCATE ALL WIRING, PLUMBING, & MECH. EQUIP. AFFECTED BY REMOVAL OF PARTITIONS, ABANDONED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, & SHALL BE PROPERLY CAPPED OR PLUGGED.
 - THE CONTRACTOR SHALL PROVIDE, ERECT & MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
 - THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

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Issue Date: 03/06/2023 Set: LPC SUBMISSION

DOCKET# LPC-23-05878

63 E 93RD STREET
63 E 93RD STREET
NEW YORK, NY 10128

RESOLUTION: 4 ARCHITECTURE
150 WEST 28TH STREET, SUITE 1902, NEW YORK, NY 10001
TEL: 212.675.9266 www.res4a.com FAX: 212.206.0944

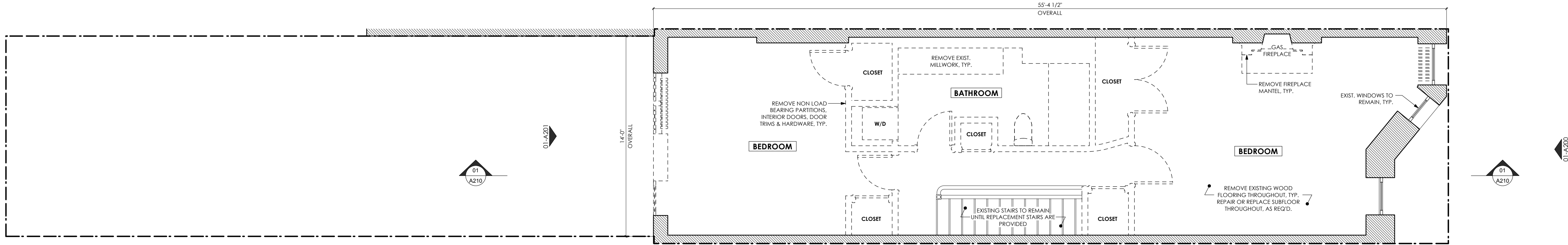
DEMOLITION PLANS

03/06/2023 A-101.00

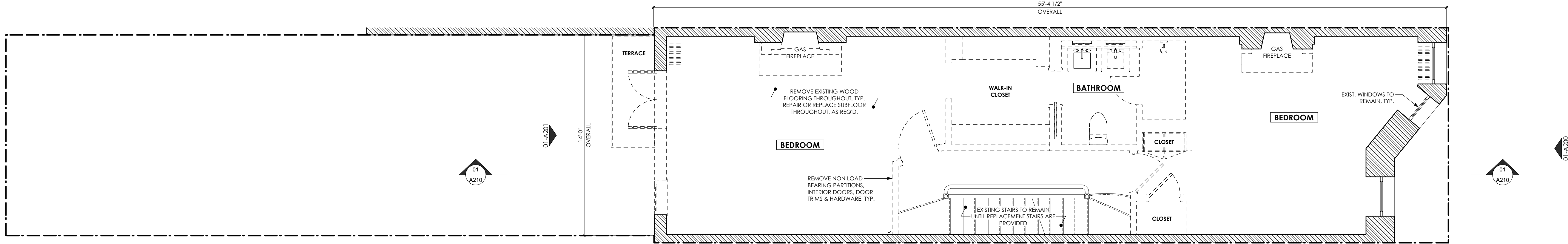
SCALE: AS NOTED 10 OF 36

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02. THIRD FLOOR - DEMOLITION PLAN

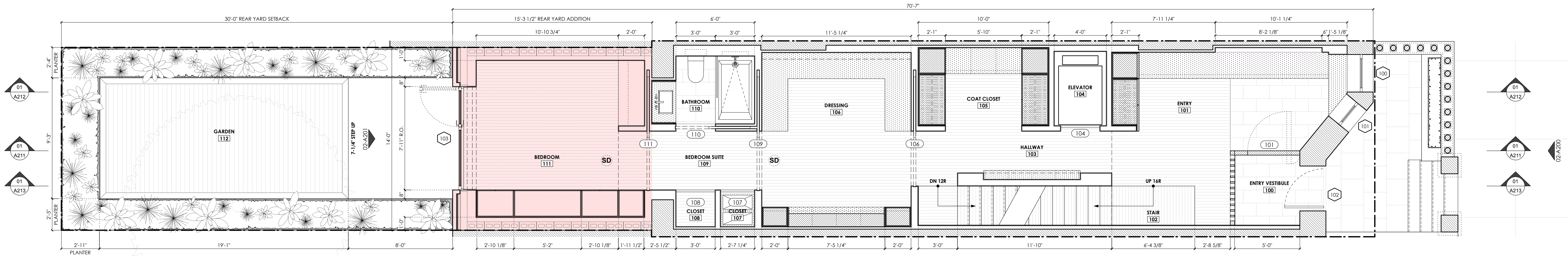


01. SECOND FLOOR - DEMOLITION PLAN

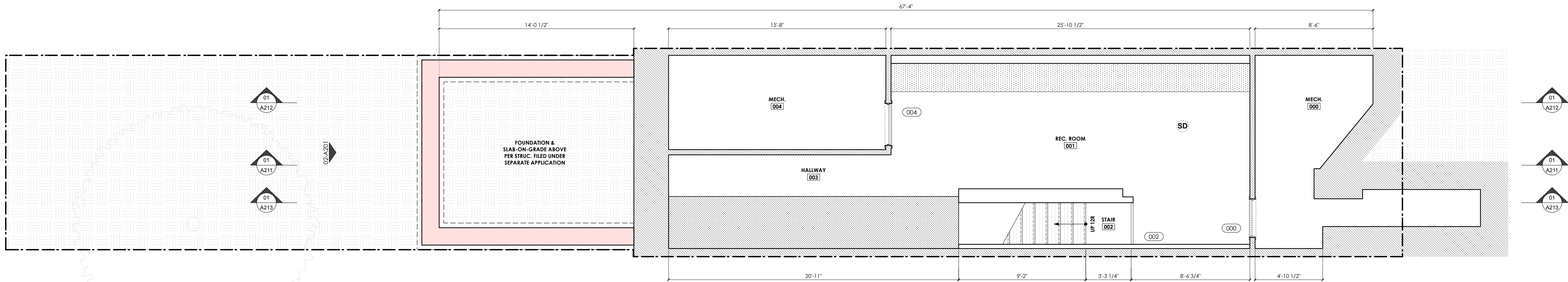


- EXISTING TO REMAIN
- SCOPE OF PROPOSED ADDITION
- SD DUAL SMOKE DETECTOR / CARBON MONOXIDE ALARM

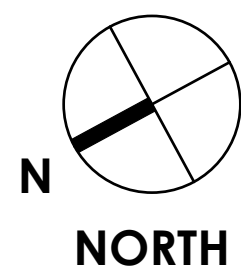
- GENERAL NOTES
01. ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF STUD AND DO NOT INCLUDE EXTERIOR SHEATHING BOARD OR EXTERIOR CLADDING.
02. REFER TO WINDOW SCHEDULE FOR UNIT SIZES. ALL WINDOW DIMENSIONS INDICATED IN PLAN ARE ROUGH OPENING DIMENSIONS (NOT UNIT DIMENSIONS), U.O.N.
03. REFER TO DOOR SCHEDULE FOR DOOR SPECIFICATIONS & SIZES.
04. ALL INTERIOR WALLS TO BE 2X4 CONSTRUCTION WITH 1/2" G.W.B. SHEATHING U.O.N.
05. ALL CEILINGS TO BE 5/8" G.W.B. SHEATHING.
06. ALL ROOF DRAINS TO BE PLUMBED THROUGH INTERNAL LEADERS - TO BE COORDINATED.
07. GC TO CLOSE ANY GAPS AT EXTERIOR WALLS, WINDOWS & BETWEEN MODULES WITH SPRAY FOAM INSULATION AFTER SET.



02. BASEMENT - CONSTRUCTION PLAN



01. CELLAR - CONSTRUCTION PLAN



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CONSTRUCTION PLANS

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A-110.00

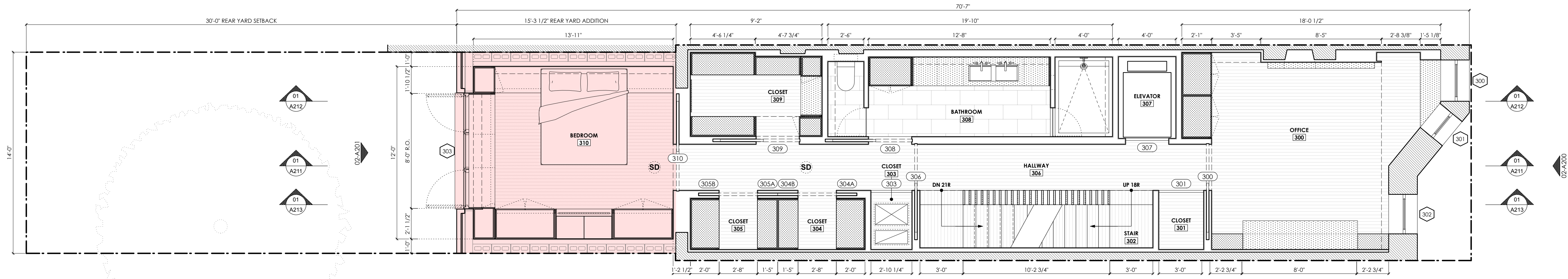
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11 OF 36

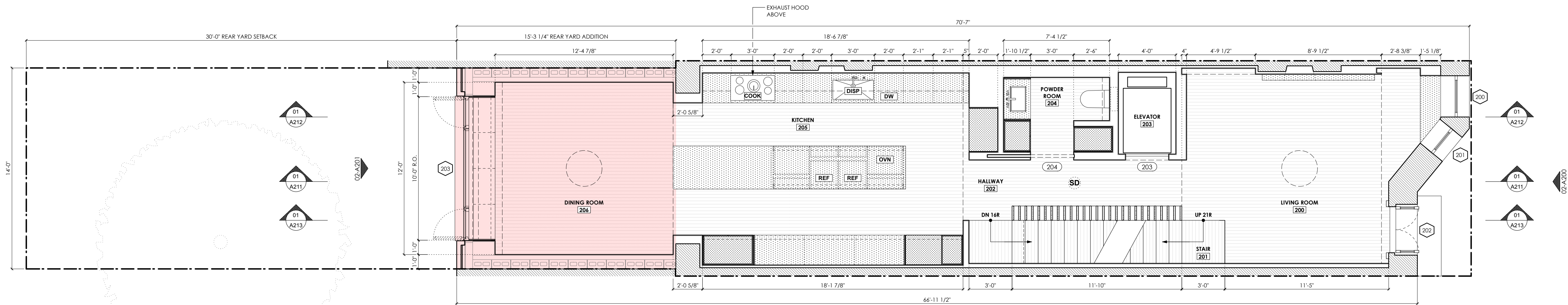
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- EXISTING TO REMAIN
- SCOPE OF PROPOSED ADDITION
- SD DUAL SMOKE DETECTOR / CARBON MONOXIDE ALARM

- GENERAL NOTES
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07. GC TO CLOSE ANY GAPS AT EXTERIOR WALLS, WINDOWS & BETWEEN MODULES WITH SPRAY FOAM INSULATION AFTER SET.



02. SECOND FLOOR - CONSTRUCTION PLAN



01. FIRST FLOOR - CONSTRUCTION PLAN



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03/06/2023

A-111.00

SCALE: AS NOTED

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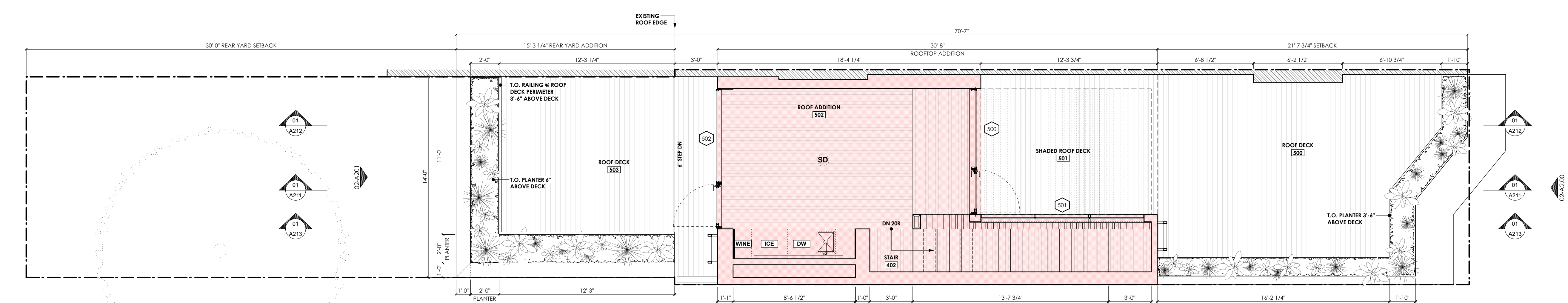
EXISTING TO REMAIN

SCOPE OF PROPOSED ADDITION

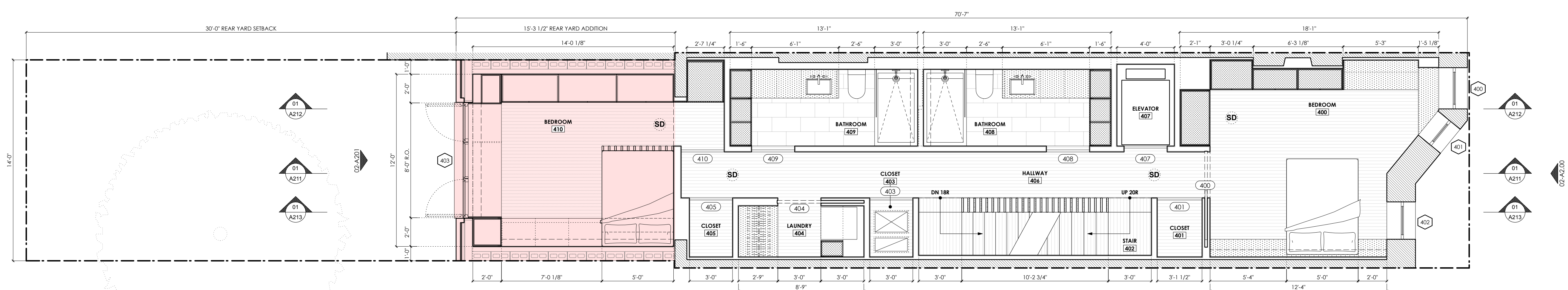
SD

DUAL SMOKE DETECTOR / CARBON MONOXIDE ALARM

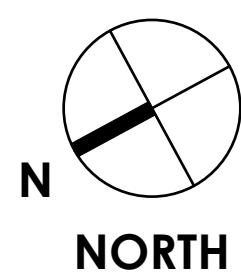
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02. PENTHOUSE - CONSTRUCTION PLAN



01. THIRD FLOOR - CONSTRUCTION PLAN



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CONSTRUCTION PLANS

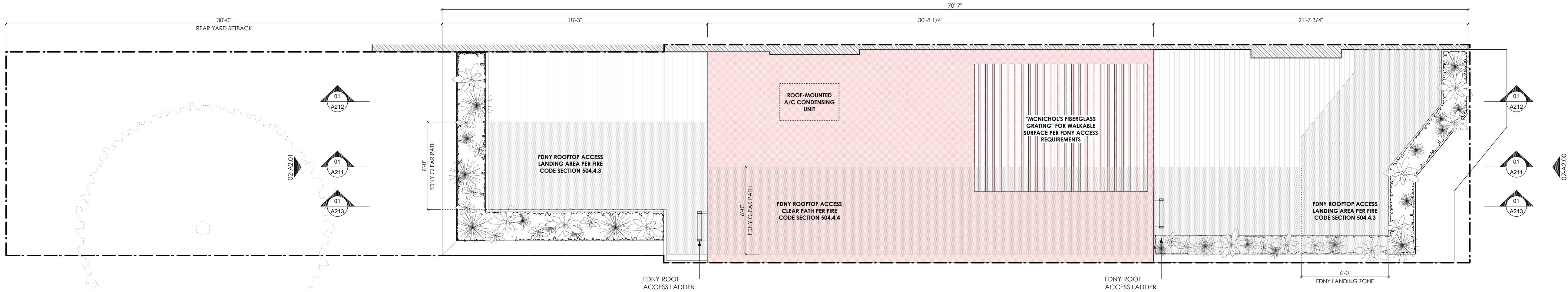
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SCALE: AS NOTED 13 OF 36

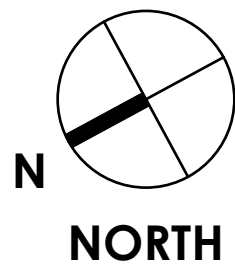
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- EXISTING TO REMAIN
- SCOPE OF PROPOSED ADDITION

- GENERAL NOTES**
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01. ROOF - CONSTRUCTION PLAN



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03/06/2023

A-113.00

SCALE: AS NOTED

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01. FRONT ELEVATION - EXISTING



02. FRONT ELEVATION - PROPOSED

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EXTERIOR ELEVATIONS -
FRONT YARD

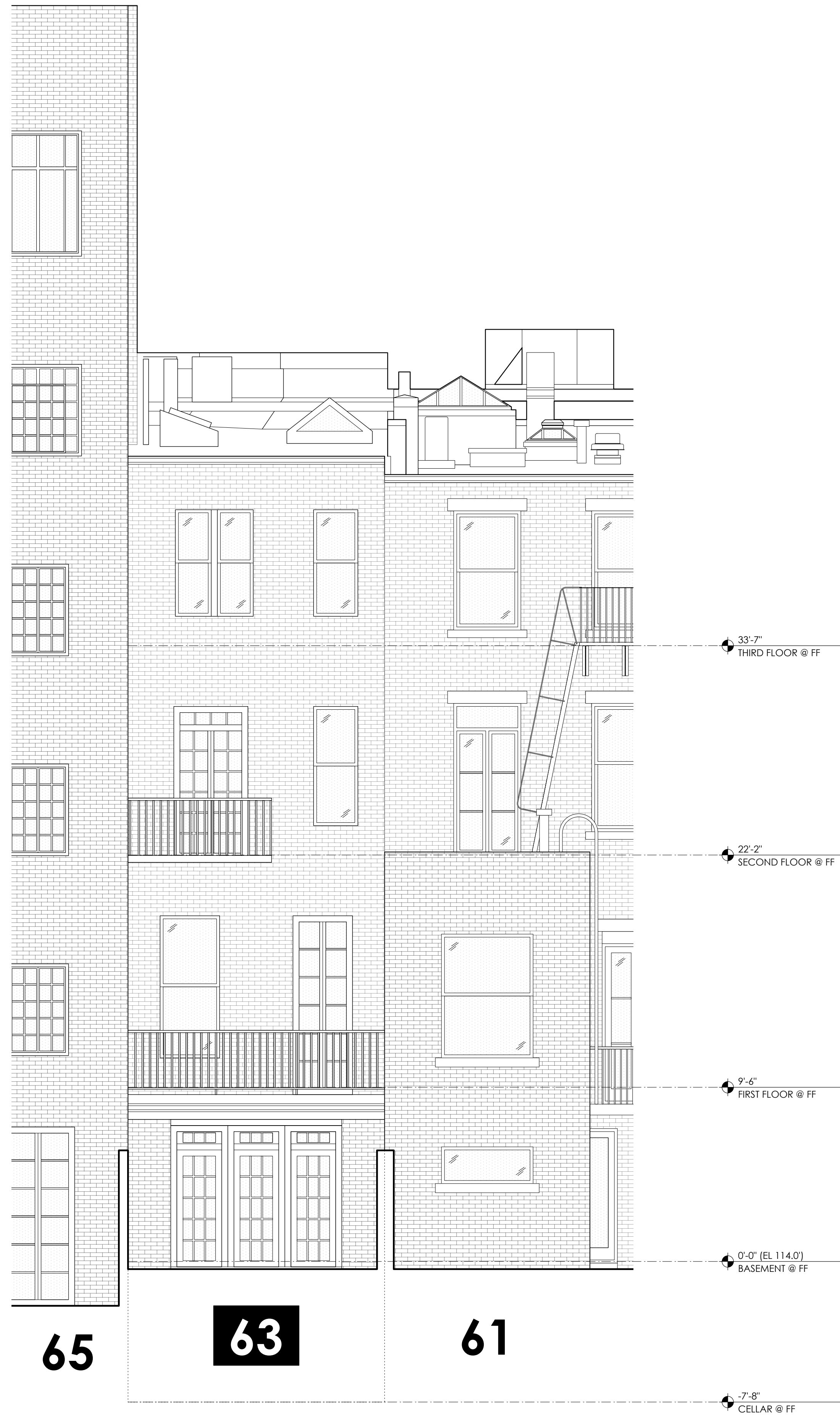
03/06/2023

A-200.00

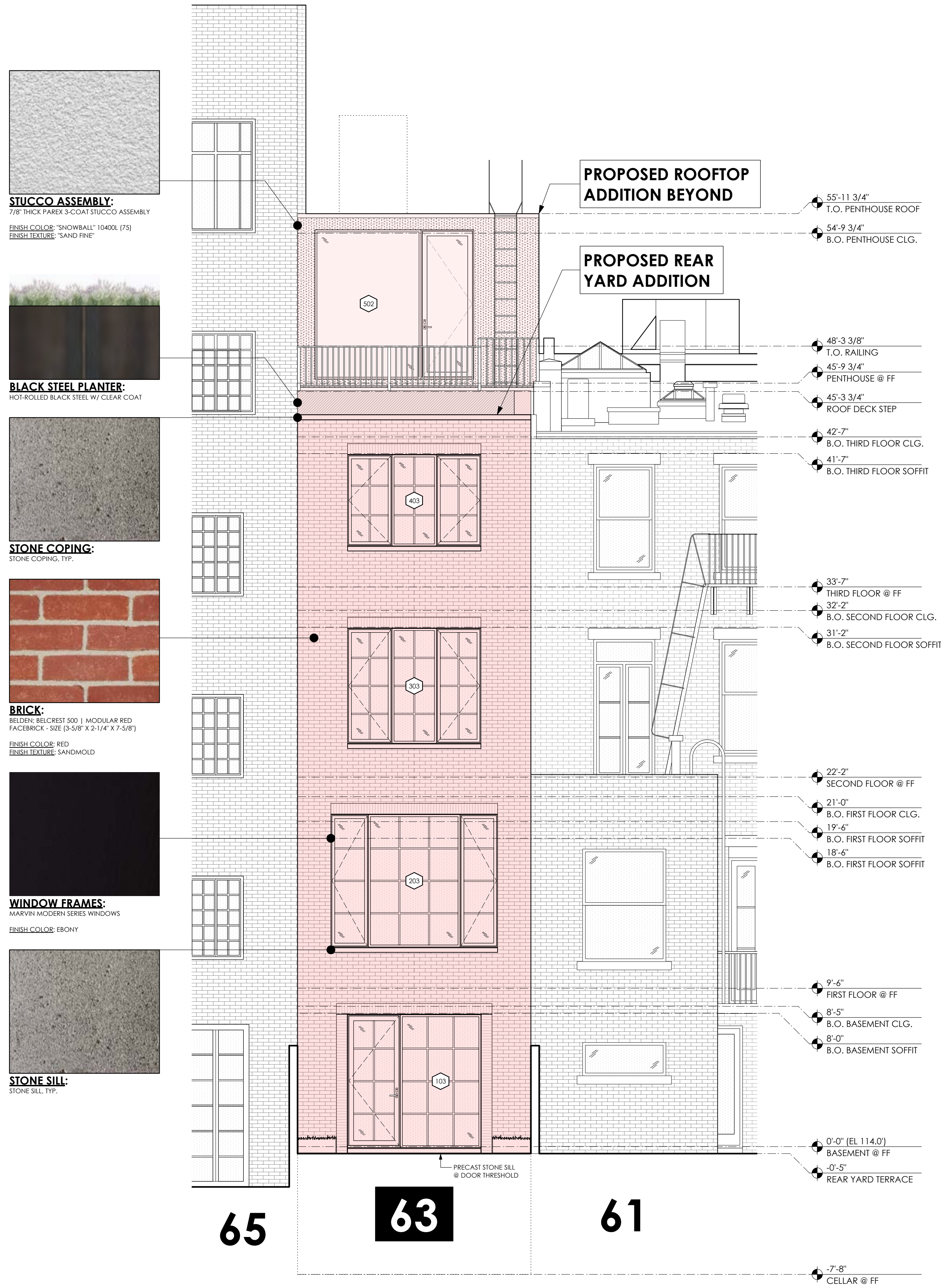
SCALE: AS NOTED

15 OF 36

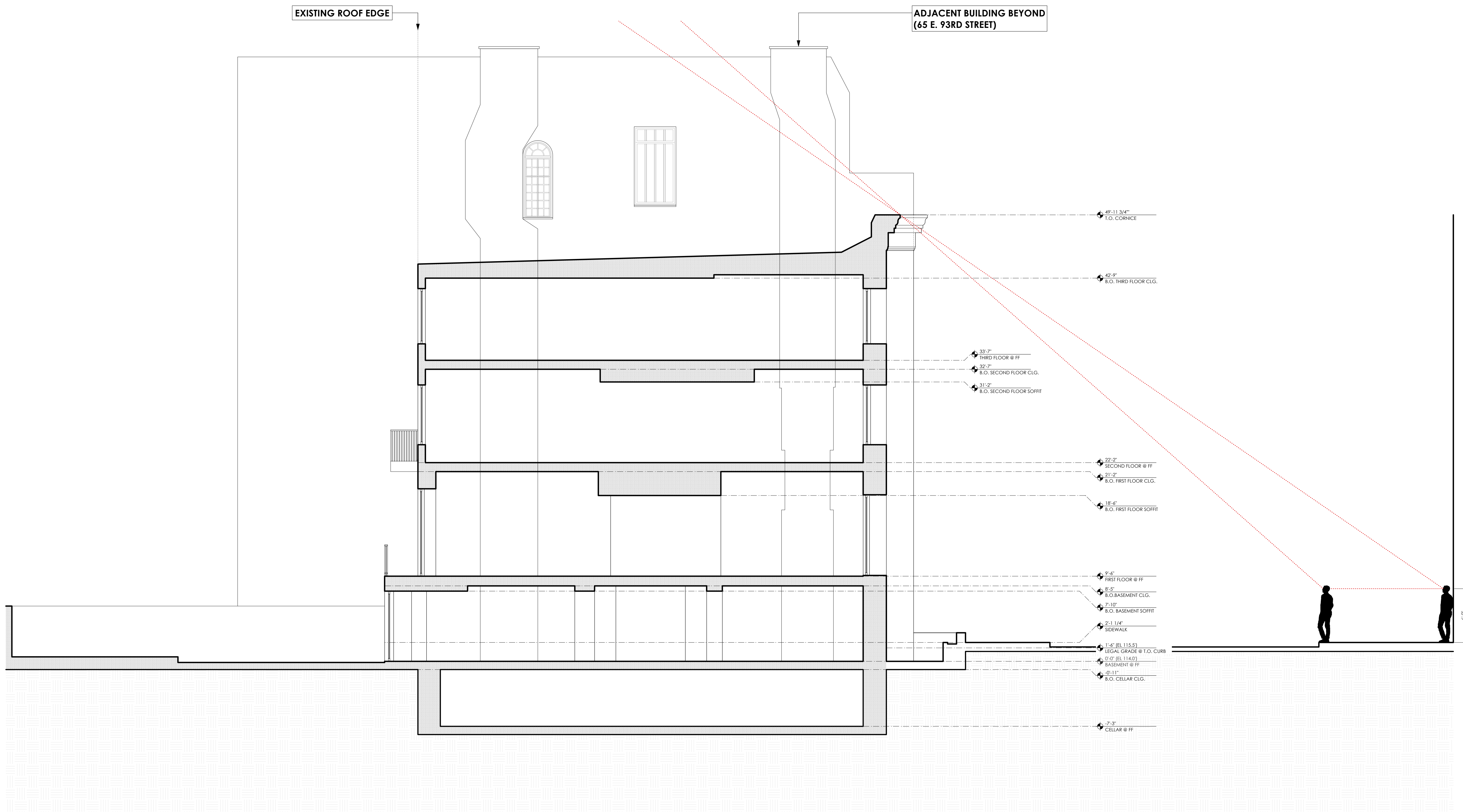
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01. REAR ELEVATION - EXISTING



02. REAR ELEVATION - PROPOSED



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EXISTING SECTION

03/06/2023

A-210.00

SCALE: AS NOTED

17 OF 36

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Y RESOLUTION: 4 ARCHITECTURE

SCOPE OF EXISTING

SCOPE OF PROPOSED ADDITION

GENERAL NOTES:

1. OPERABLE WINDOWS W/ SILL BELOW 36" AFF SHALL BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES TO LIMIT OPENING TO LESS THAN PER BC 1015.8, TYP.



Issue Date: 3/06/2023 Set: LPC SUBMISSION

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PROPOSED SECTION

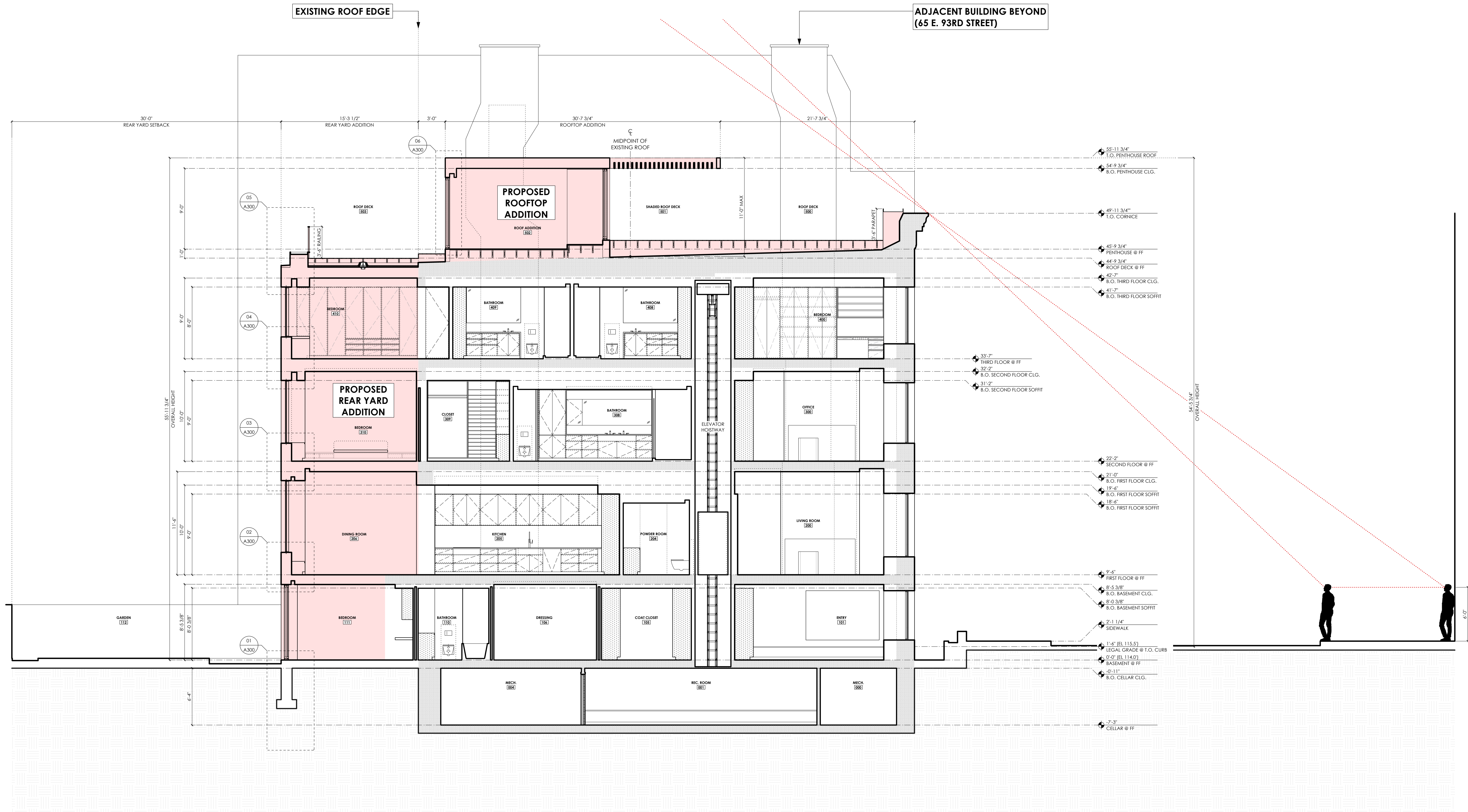
3/06/2023 **A-211 00**

SALE: AS NOTED 18 OF 36

- SCOPE OF EXISTING
- SCOPE OF PROPOSED ADDITION

GENERAL NOTES

01. OPERABLE WINDOWS W/ SILL BELOW 36" AFF SHALL BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES TO LIMIT OPENING TO LESS THAN 4" PER BC 1015.8, TYP.



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RESOLUTION: 4 ARCHITECTURE

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PROPOSED SECTION

03/06/2023

A-212.00

SCALE: AS NOTED

19 OF 36

BY RESOLUTION: 4 ARCHITECTURE

SCOPE OF EXISTING

SCOPE OF PROPOSED ADDITION

GENERAL NOTES

11. OPERABLE WINDOWS W/ SILL BELOW 36" AFF SHALL BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES TO LIMIT OPENING TO LESS THAN 4" PER BC 1015.8, TYP.



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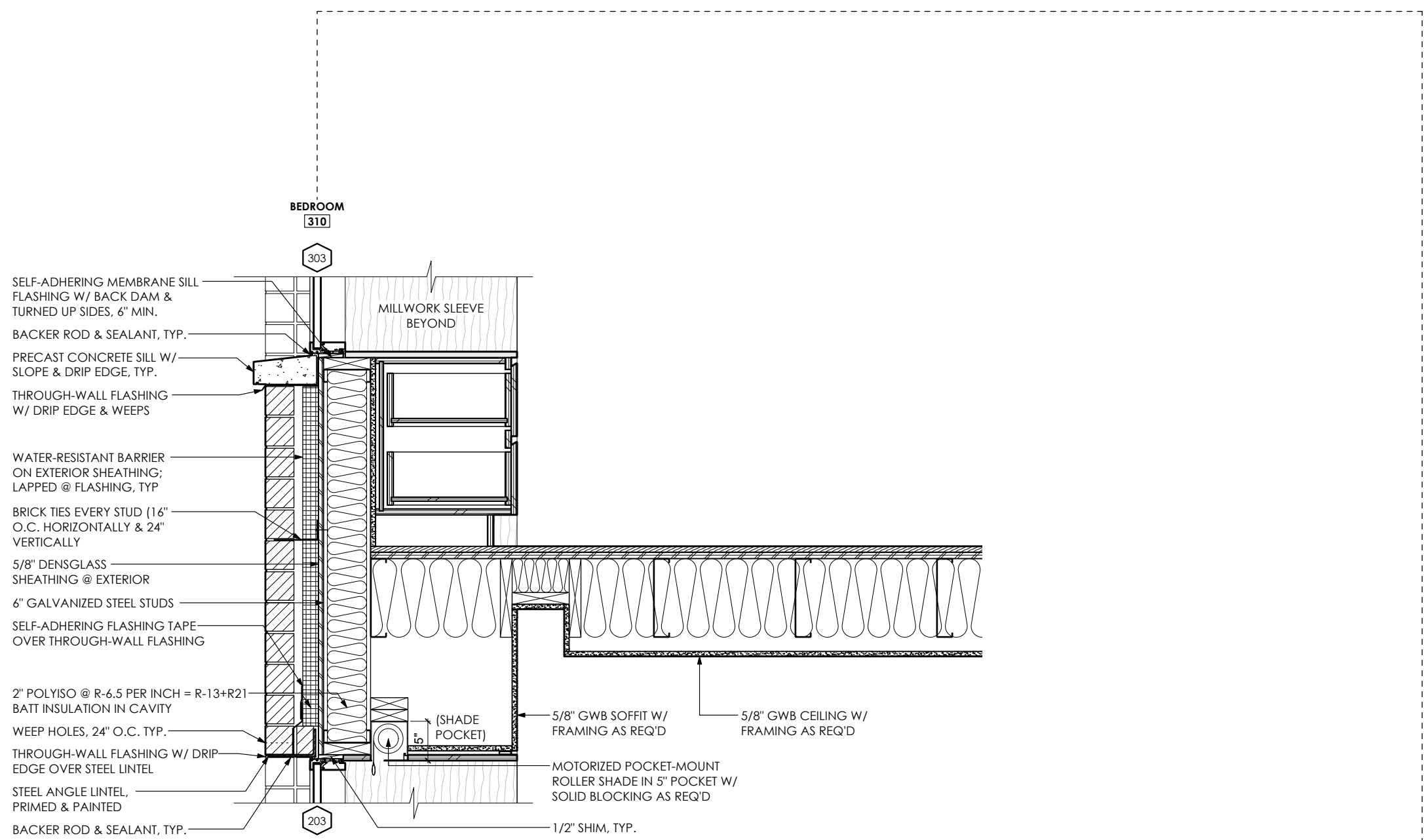
63 E 93RD STREET
63 E 93RD STREET
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RESOLUTION: 4 ARCHITECTURE
50 WEST 28TH STREET, SUITE 1902, NEW YORK, NY 10001
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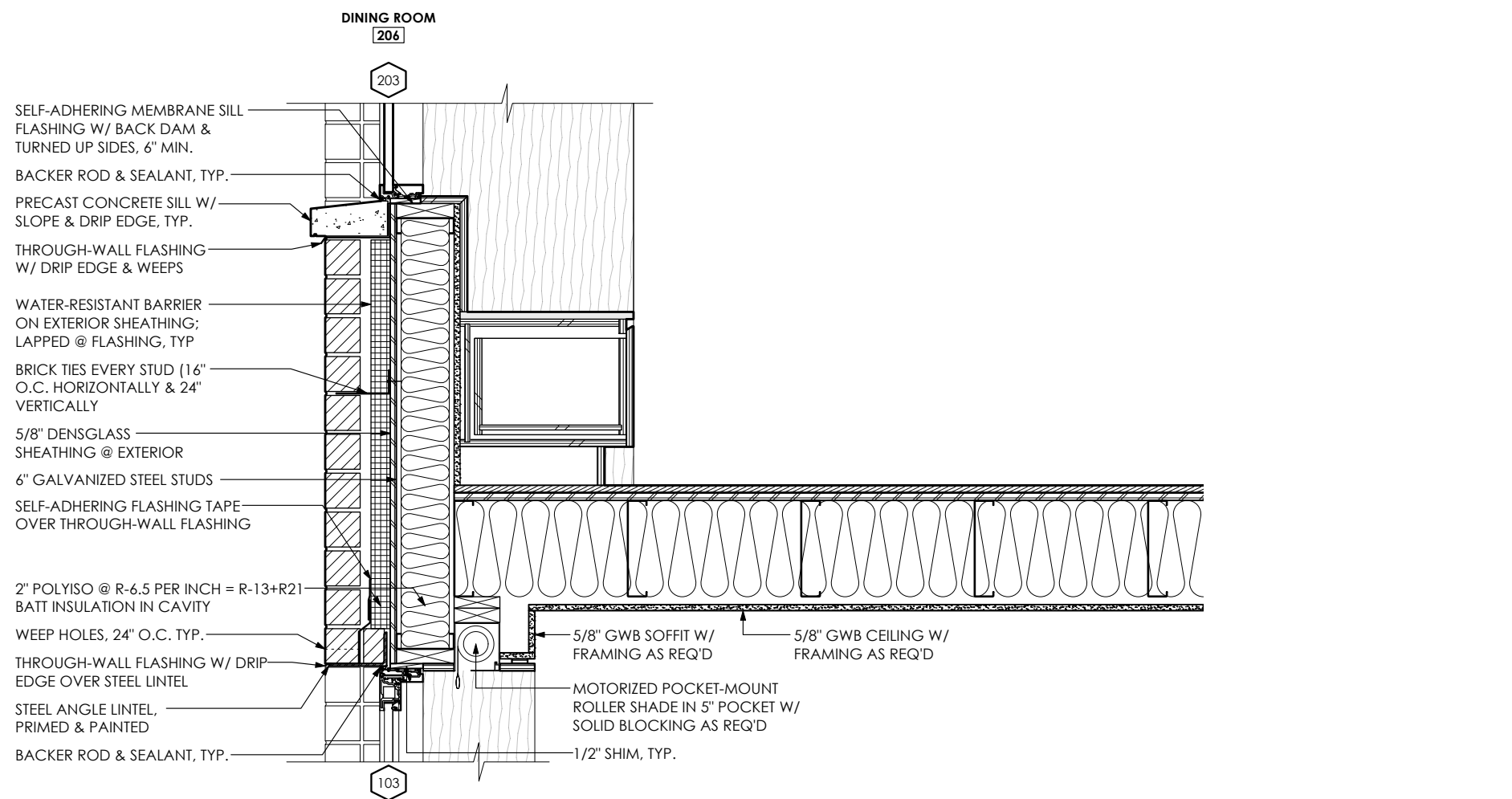
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03/06/2023 **A-213.00**

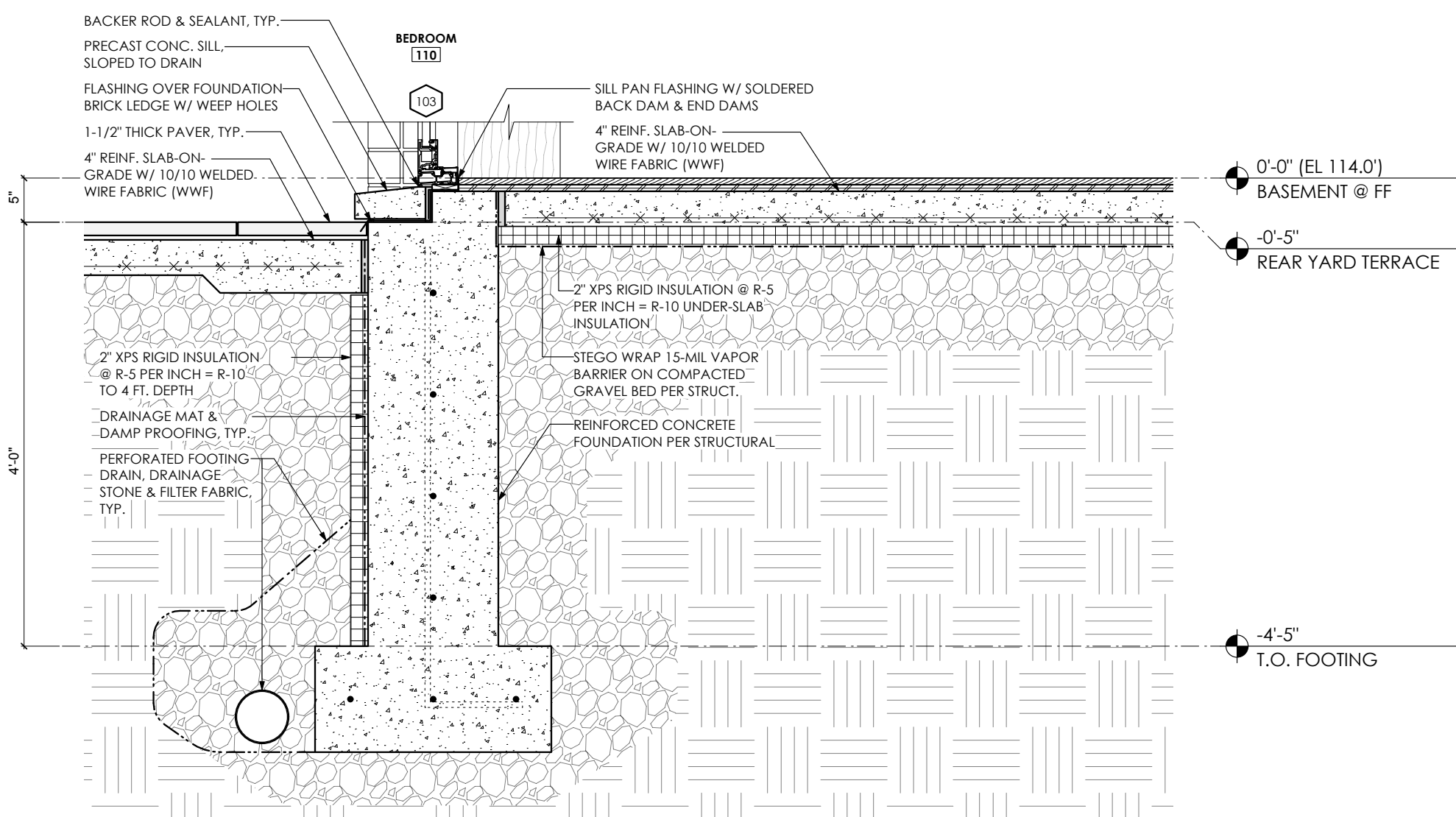
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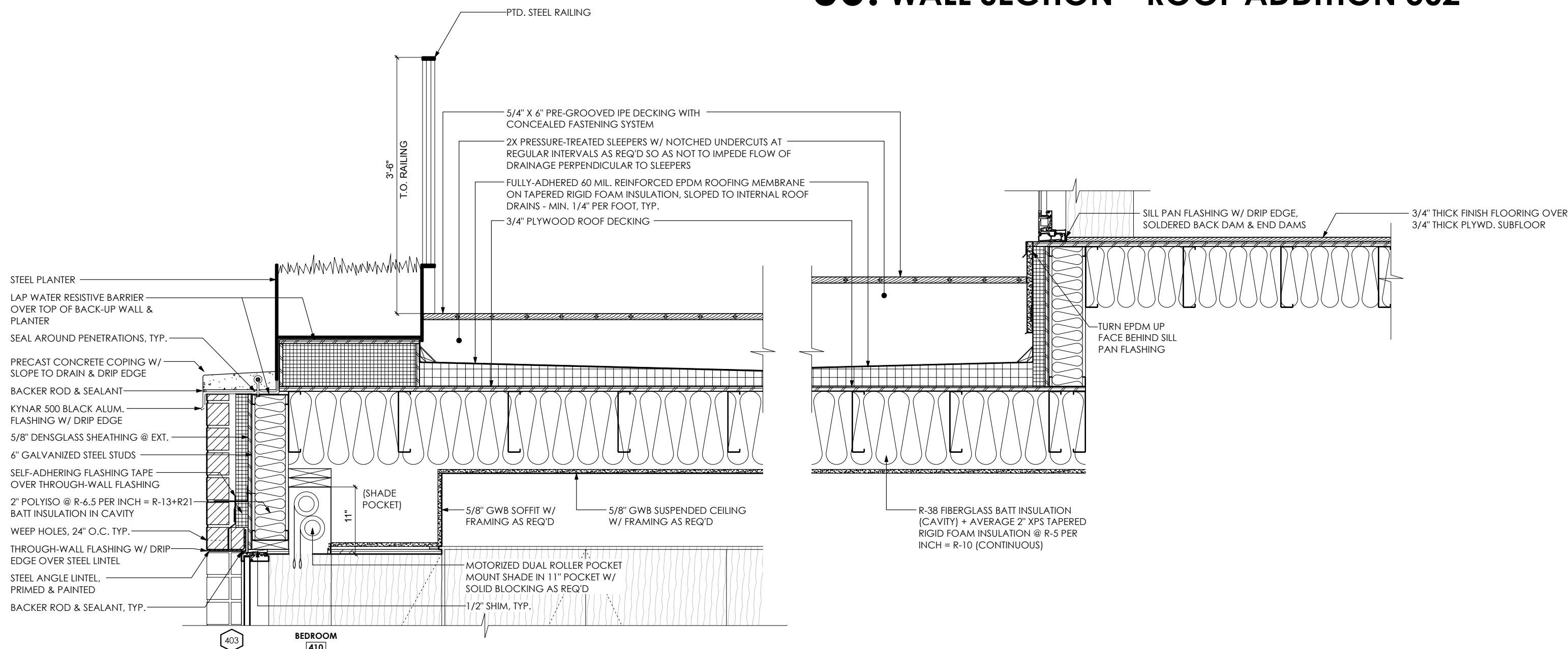
03. WALL SECTION - DINING ROOM 206 / BEDROOM 310



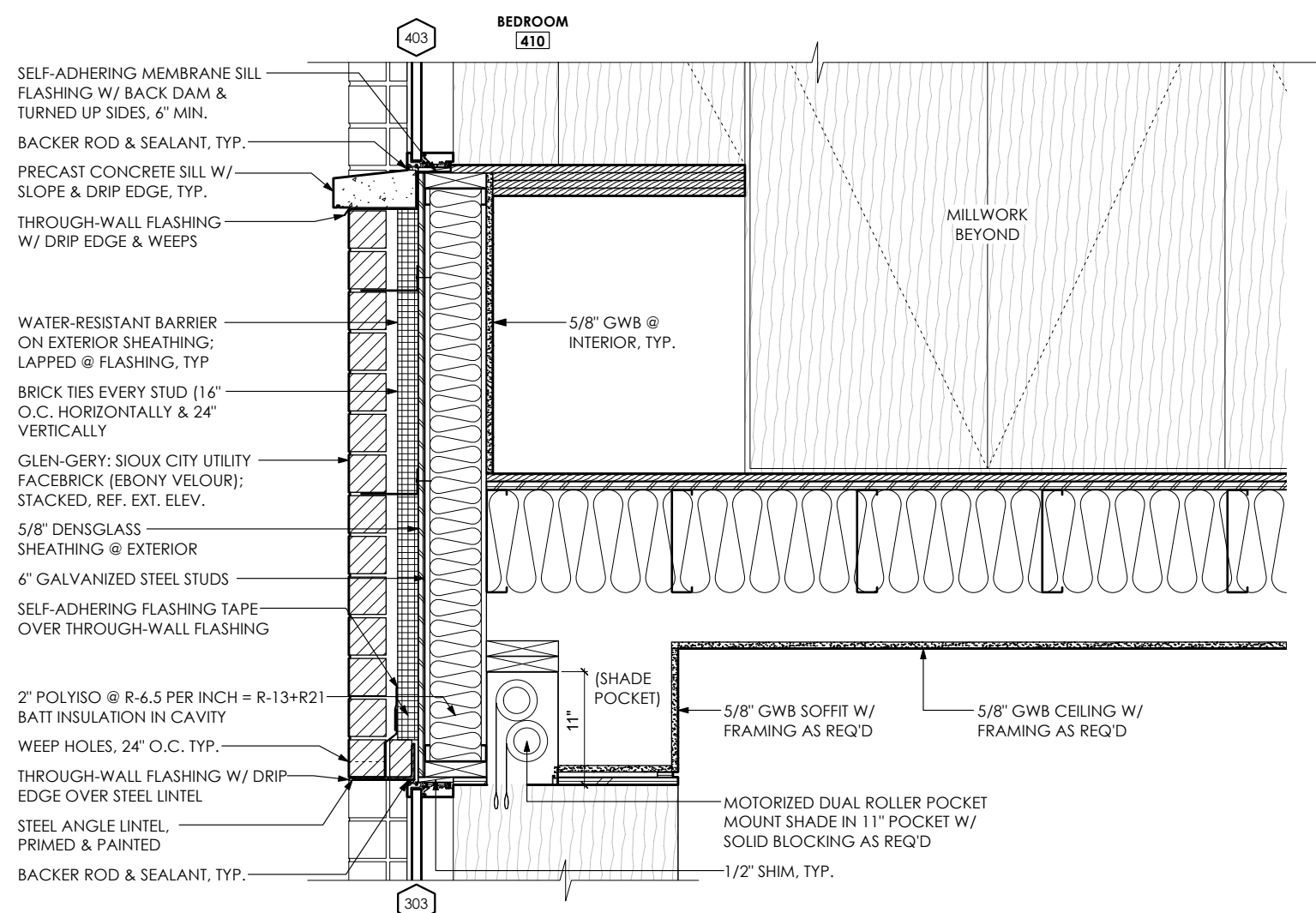
02. WALL SECTION - BEDROOM 110 / DINING ROOM 206



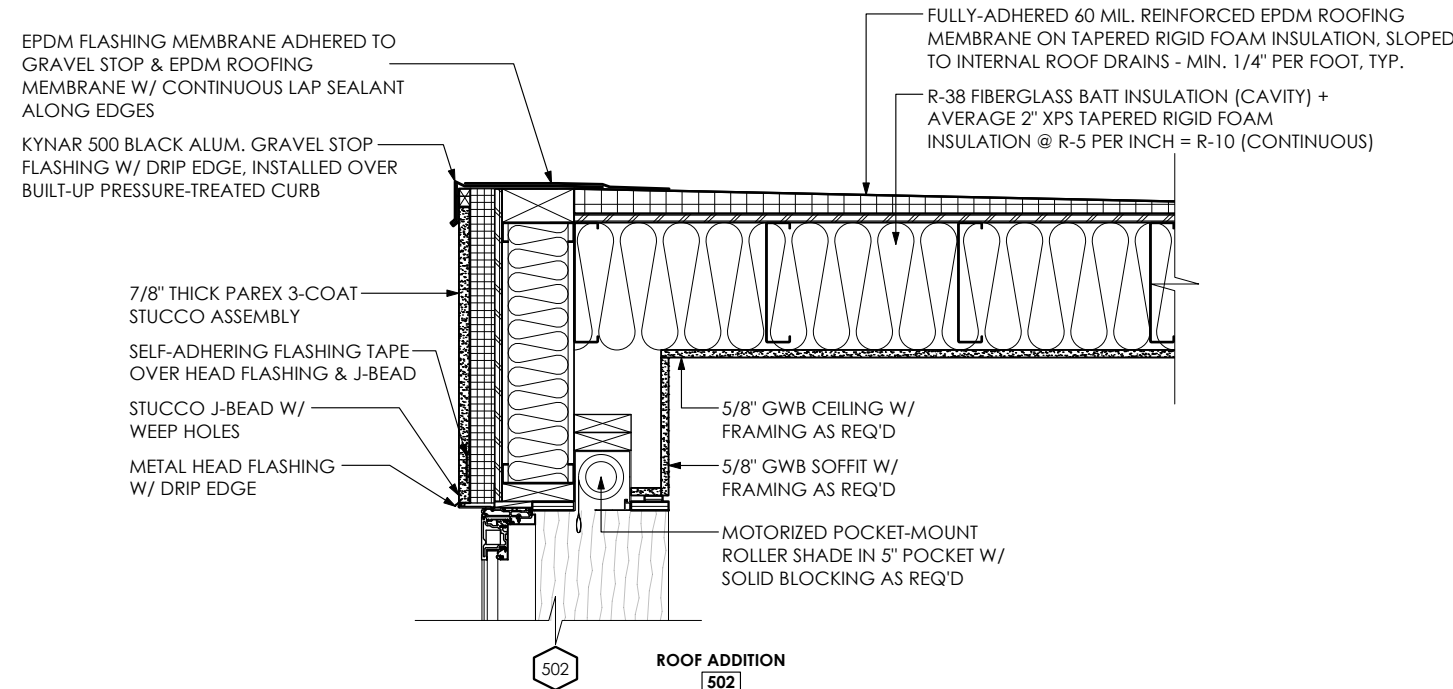
01. WALL SECTION - FOUNDATION DETAIL



05. WALL SECTION - BEDROOM 410 / ROOF DECK 503



04. WALL SECTION - BEDROOM 310 / BEDROOM 410



06. WALL SECTION - ROOF ADDITION 502

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WALL SECTION

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SCALE: AS NOTED 21 OF 36

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SUPPLEMENTAL 3D VIEWS

03/06/2023 **A-400.00**

SCALE: AS NOTED 22 OF 36



01. VIEW OF MOCK-UP FROM E 93RD STREET



02. VIEW MOCK-UP FROM REAR YARD

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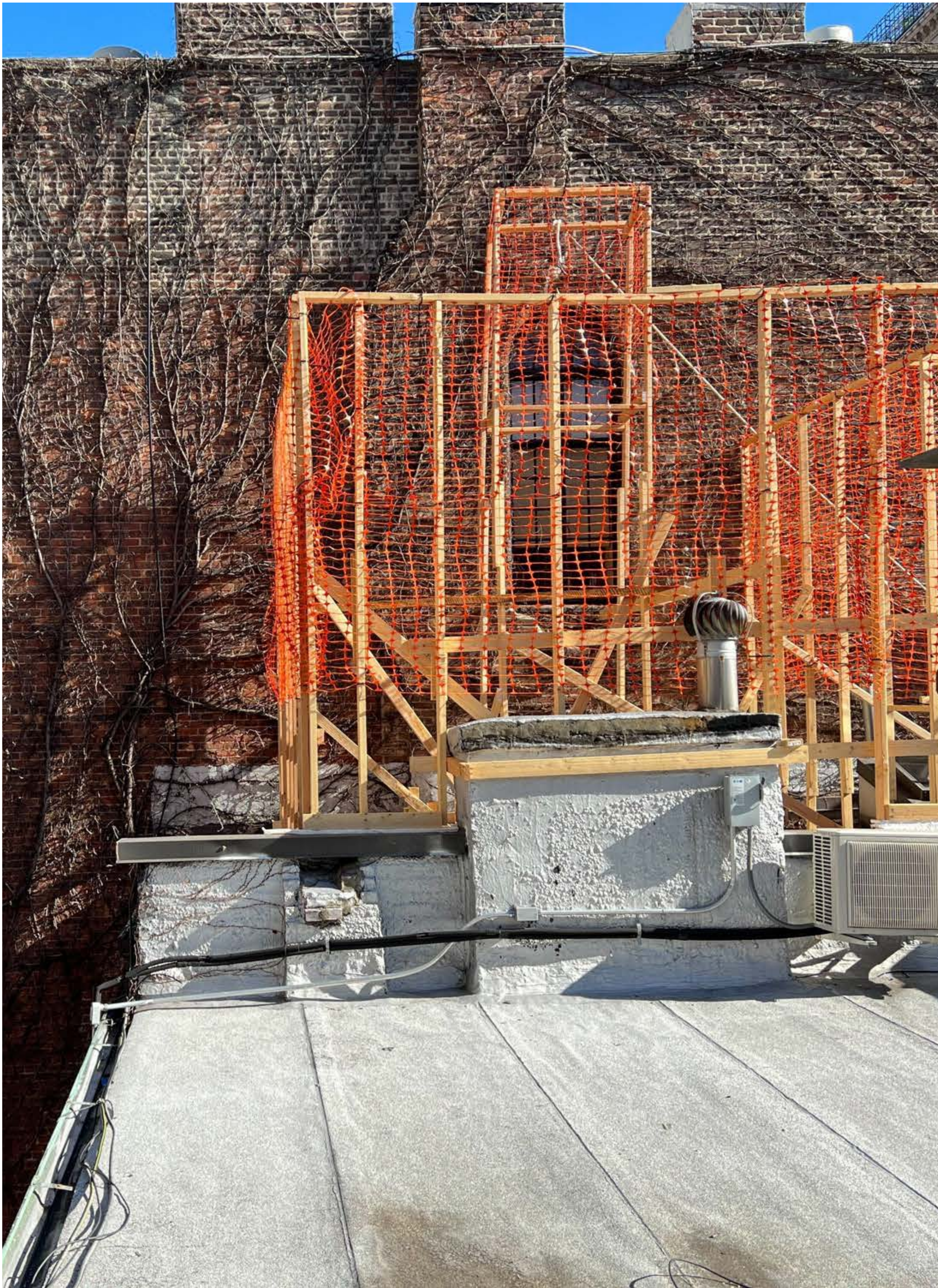
RESOLUTION: 4 ARCHITECTURE
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CONTEXT PHOTOS - MOCK-UP

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SCALE: AS NOTED 23 OF 36

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01. VIEW OF 3'-0" MOCK-UP OFFSET FROM EXISTING ROOF



02. VIEW OF MOCK-UP FROM EXISTING ROOF

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CONTEXT PHOTOS - MOCK-UP

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01. EXISTING 65 **63** 61 59 57 55



02. PROPOSED 65 **63** 61 59 57 55

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MODEL VIEW -
BOOKEND CONDITION

03/06/2023 **A-502.00**

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01. AXONOMETRIC VIEW FROM NORTHWEST CORNER

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MODEL VIEW -
AXONOMETRIC VIEW

03/06/2023 A-503.00

SCALE: AS NOTED 26 OF 36

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01. AXONOMETRIC VIEW FROM NORTHEAST CORNER

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MODEL VIEW -
AXONOMETRIC VIEW

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SCALE: AS NOTED 27 OF 36

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01. VIEW INTO PUBLIC COURTYARD FROM E 93RD STREET

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CONTEXT PHOTOS -
PUBLIC COURTYARD

03/06/2023 A-505.00

SCALE: AS NOTED 28 OF 36

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01. VIEW INTO DONUT FROM PUBLIC COURTYARD

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63 E 93RD STREET
NEW YORK, NY 10128

RESOLUTION: 4 ARCHITECTURE
150 WEST 28TH STREET, SUITE 1902, NEW YORK, NY 10001
TEL: 212.675.9266 www.re4a.com FAX: 212.206.0944

CONTEXT PHOTOS -
PUBLIC COURTYARD

03/06/2023 A-506.00

SCALE: AS NOTED 29 OF 36

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01. VIEW INTO PUBLIC COURTYARD FROM E 94TH STREET

LPC SUBMISSION

Issue Date: 03/06/2023 Set: LPC SUBMISSION

DOCKET# LPC-23-05878

63 E 93RD STREET
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CONTEXT PHOTOS -
PUBLIC COURTYARD

03/06/2023 A-507.00

SCALE: AS NOTED 30 OF 36

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01. VIEW INTO PUBLIC COURTYARD FROM E 94TH STREET

LPC SUBMISSION

Issue Date: 03/06/2023 Set: LPC SUBMISSION

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CONTEXT PHOTOS -
PUBLIC COURTYARD

03/06/2023 A-508.00

SCALE: AS NOTED 31 OF 36

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01. VIEW OF MOCK-UP FROM PUBLIC COURTYARD

LPC SUBMISSION

Issue Date: 03/06/2023 Set: LPC SUBMISSION

DOCKET# LPC-23-05878

63 E 93RD STREET
63 E 93RD STREET
NEW YORK, NY 10128

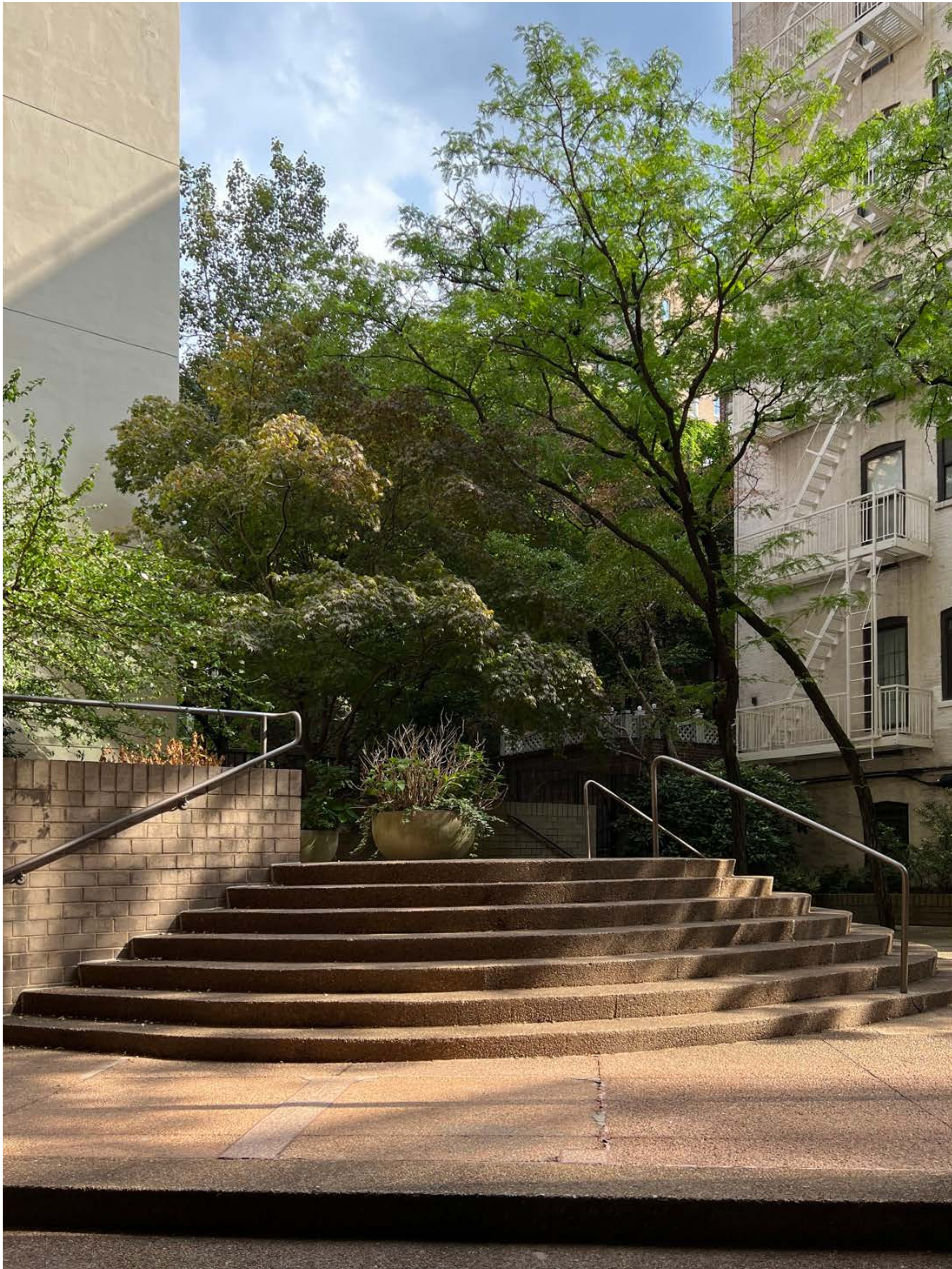
RESOLUTION: 4 ARCHITECTURE
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CONTEXT PHOTOS -
PUBLIC COURTYARD

03/06/2023 A-509.00

SCALE: AS NOTED 32 OF 36

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01. VIEW FROM PUBLIC COURTYARD (SUMMER)



02. VIEW OF MOCK-UP FROM PUBLIC COURTYARD (WINTER)

LPC SUBMISSION

Issue Date: 03/06/2023 Set: LPC SUBMISSION

DOCKET# LPC-23-05878

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CONTEXT PHOTOS -
PUBLIC COURTYARD

03/06/2023 A-510.00

SCALE: AS NOTED 33 OF 36

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01. VIEW FROM PUBLIC COURTYARD (PROPOSED RENDERING WITH TREES)



02. VIEW FROM PUBLIC COURTYARD (PROPOSED RENDERING WITHOUT TREES)

LPC SUBMISSION

Issue Date: 03/06/2023 Set: LPC SUBMISSION

DOCKET# LPC-23-05878

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CONTEXT PHOTOS -
PUBLIC COURTYARD

03/06/2023 A-511.00

SCALE: AS NOTED 34 OF 36

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