

**BEYER  
BLINDER  
BELLE**



## **829 MADISON AVENUE**

PRESENTATION TO THE  
LANDMARKS PRESERVATION COMMISSION

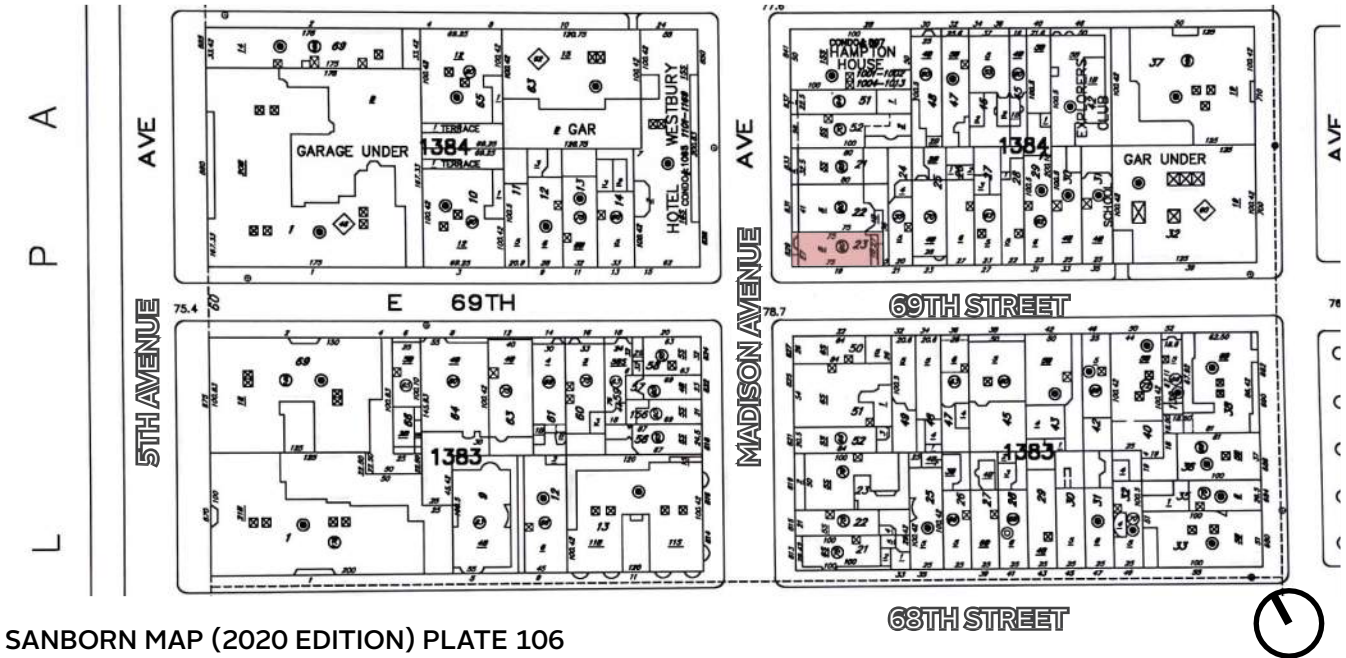
OCTOBER 27, 2022



SITE



UPPER EAST SIDE AERIAL PHOTO



SANBORN MAP (2020 EDITION) PLATE 106



UPPER EAST SIDE HISTORIC DISTRICT



# TIMELINE: 1885-1886

## CHARLES BUEK & COMPANY

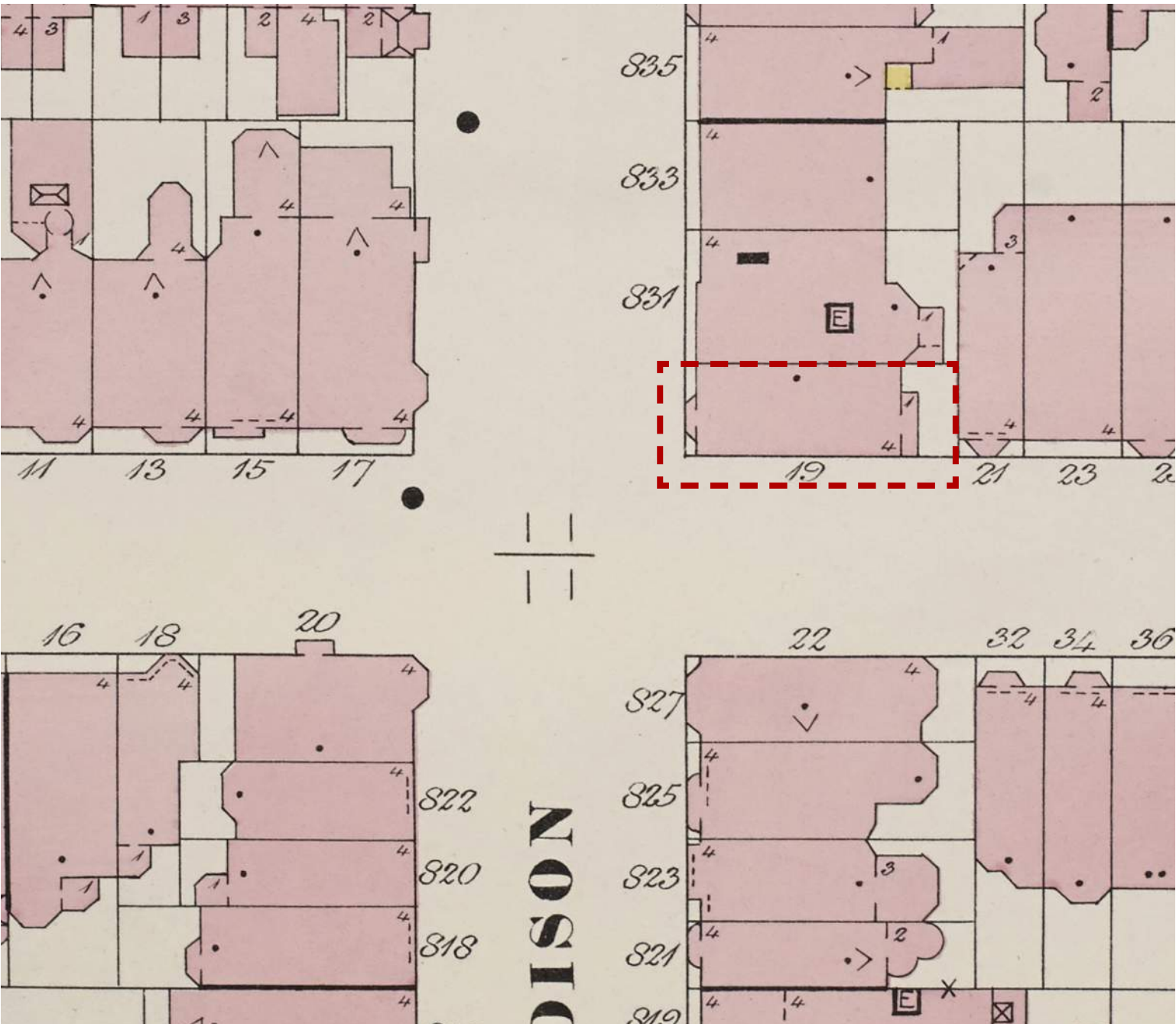
Charles Buek (dates undetermined)  
Henry Cook (dates undetermined)

|                        |         |   |
|------------------------|---------|---|
| 33 East 65th Street    | 1884-85 | new building  |
| 16-20 East 69th Street | 1881-82 | new buildings(3)  |
| 21-29 East 69th Street | 1885-86 | new buildings(5)  |
| 36-38 East 73rd Street | 1886    | new buildings(2)*   |
| 813-815 Madison Avenue | 1881    | new buildings   |
| 818-822 Madison Avenue | 1881    | new buildings(2)  |
| 829-833 Madison Avenue | 1885    | new buildings(3)*   |
| 903-907 Madison Avenue | 1886    | new buildings(3),<br>* 36 East 73rd and 831 Madison now altered |

One of the most active developers of the East side in the 1880s, Charles Buek became associated with the firm of Duggin & Drossman in 1870. In 1881, he reorganized the firm under his own administration as Charles Buek & Company. Through the 1880s the firm concentrated its activities on the East Side. In addition to the development in the district clustered around Madison Avenue, the firm also built extensively around Lexington Avenue and 36th Street. Varied in character, their buildings reflect contemporary styles with an imaginative economy of means. Particularly noteworthy and handsome is the decorative treatment of brick work in the Queen Anne style house at 23 East 69th Street. The cut-off date of 1886 in the district is by no means coincidental, for in 1887 the firm shifted its operation to the bustling real estate market of the Upper West Side.

Francis  
History of Real Estate, pp.221-222

A HISTORY OF REAL ESTATE, BUILDING AND ARCHITECTURE IN NEW YORK CITY DURING THE LAST QUARTER OF A CENTURY, 1898

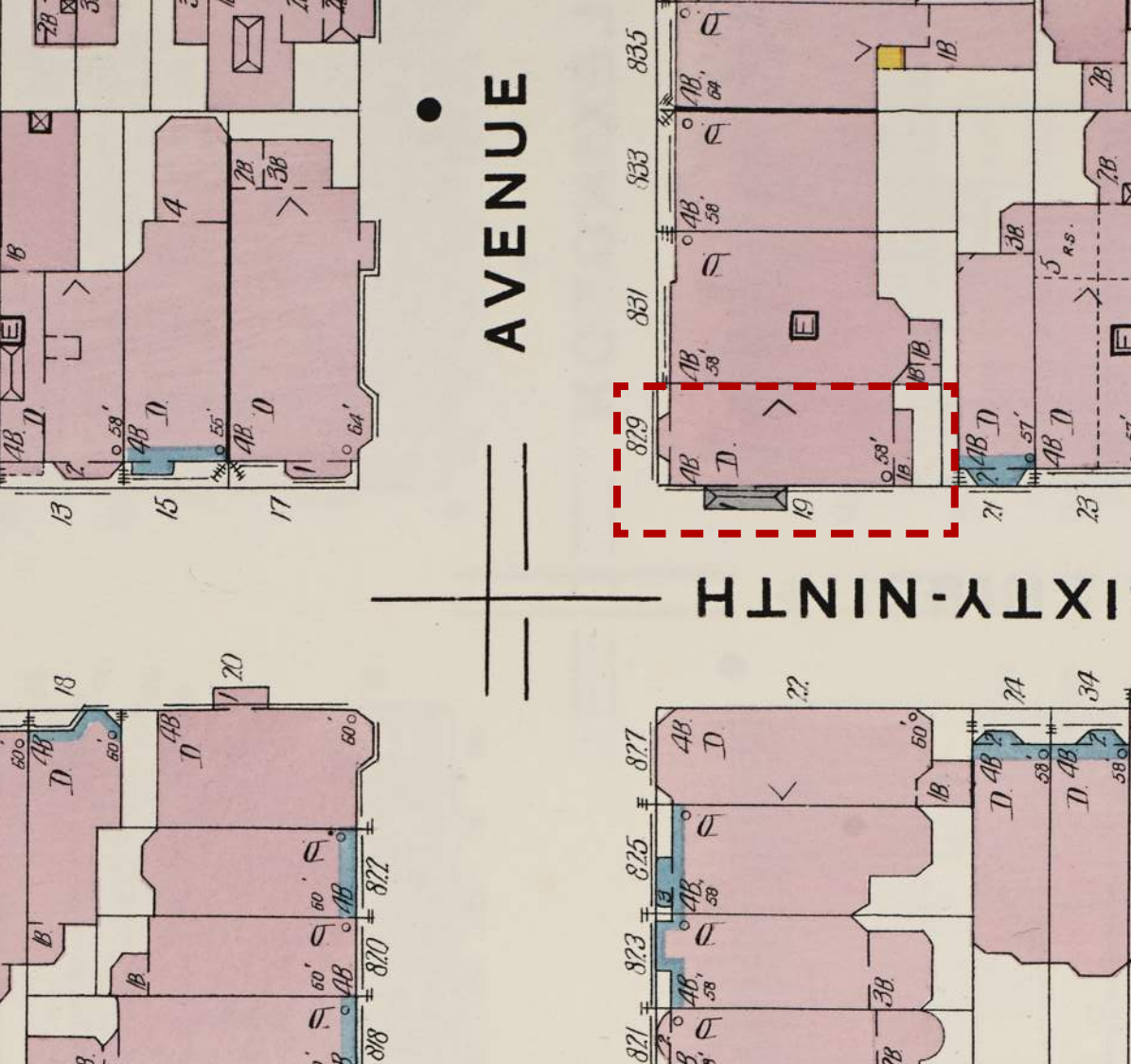


1892 SANBORN MAP





# TIMELINE: 1885-1886



1907 SANBORN MAP



C. 1940'S TAX DEPT. PHOTO



C. 1940'S TAX DEPT. PHOTO

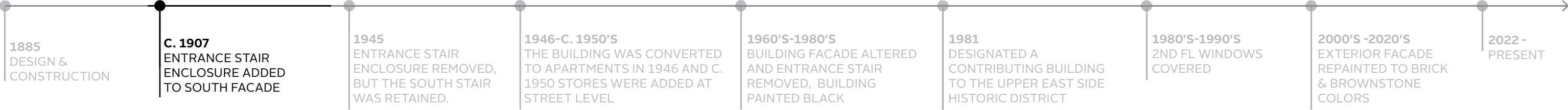


C. 1940'S TAX DEPT. PHOTO

## 829 MADISON AVENUE / 19 EAST 69TH STREET

THE BUILDING WAS DESIGNED IN THE QUEEN ANNE STYLE. IT WAS DEVELOPED BY CHARLES BUEK & CO. AND CONSTRUCTED IN 1885. QUEEN ANNE STYLE ROW HOUSES ARE NOT PROLIFIC AS THE STYLE WAS NEVER EXTENSIVELY USED IN NEW YORK. THE HOUSE WAS BUILT FOR WILLIAM C. LANE, A WEALTHY BUSINESSMAN WHO WAS THE VICE PRESIDENT OF THE UNITED STATES CORDAGE COMPANY. JOHN KING, WHO WAS THE FORMER VICE PRESIDENT OF THE BALTIMORE AND OHIO RAILROAD AND, LATER, PRESIDENT OF THE ERIE RAILROAD, PURCHASED THE RESIDENCE IN 1888.

CHARLES BUEK WAS ONE OF THE MOST ACTIVE DEVELOPERS ON THE EAST SIDE IN THE 1880S. HE STARTED HIS FIRM CHARLES BUEK & COMPANY IN 1881. THE FIRM ALSO BUILT EXTENSIVELY AROUND LEXINGTON AVE AND 36TH STREET. IN 1887 THE FIRM SHIFTED ITS OPERATION TO THE EXPANDING REAL ESTATE MARKET OF THE UPPER WEST SIDE. ANOTHER QUEEN ANNE RESIDENCE ASSOCIATED WITH CHARLES BUEK & CO IS 23 EAST 69TH ST, WHICH REMAINS MOSTLY UNALTERED AND IS SEEN AT THE FAR RIGHT IN THE UPPER RIGHT PHOTO ABOVE.





# TIMELINE: 1940'S-1980'S



C. 1940'S TAX DEPT. PHOTO



C. 1945 (NYPL)



C. 1960'S - 1980'S



C. 1980'S TAX DEPT. PHOTO

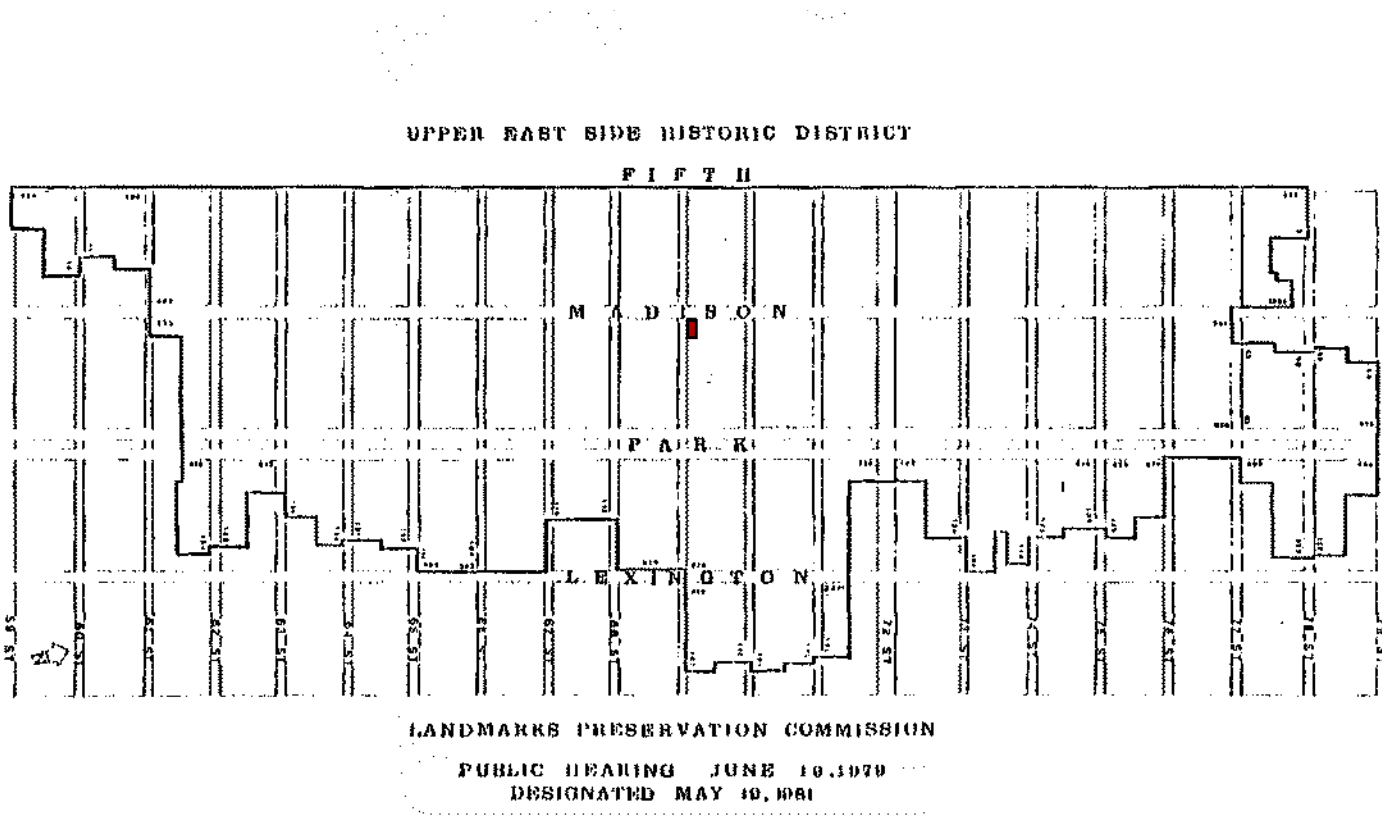
ALTERATIONS THROUGH OUT THE DECADES:

- SOUTH ENTRANCE STAIRS REMOVED AND FACADE ALTERED. ENGLISH BASEMENT LIGHT WELL FILLED.
- WEST FACADE BAY WINDOW REMOVED, RIBBON WINDOWS AT SECOND AND THIRD FL ADDED. GROUND FLOOR STORE FRONT AND AWNING ADDED.
- CORBELED CHIMNEY CAP REMOVED. THREE WINDOWS ENLARGED AT SOUTH FACADE.
- BUILDING FACADE PAINTED BLACK.





# TIMELINE: 1981



MADISON AVENUE between 69th Street and 70th Street East Side

No. 829 (1384/23)

Date

1885-86

by

Charles Buek & Co.

for

William C. Lane

Erected

1885-86

by

Charles Buek & Co.

for

William C. Lane

ARCHITECTURE

Style

Queen Anne

Elements

Four-story and basement residence with shops at basement and first two floors on corner site; original brick facade with stone trim on upper two floors; third floor with windows keyed to facade; steep hipped roof with finials at ridge; dormer with small pediment and balustrade on Madison; two dormers on side facade; two tall brick chimneys; that to the front has had its cap removed.

Alterations

1946 - converted to apartments

Basement and first two floors have been altered for shops.

HISTORY

Built as one of a group of three houses (Nos. 829-833).

References:

New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets.

|                                  |   |  |   |  |  |  |   |                   |
|----------------------------------|---|--|---|--|--|--|---|-------------------|
| 1885<br>DESIGN &<br>CONSTRUCTION | C. 1907<br>ENTRANCE STAIR<br>ENCLOSURE ADDED<br>TO SOUTH FACADE | 1945<br>ENTRANCE STAIR<br>ENCLOSURE REMOVED,<br>BUT THE SOUTH STAIR<br>WAS RETAINED. | 1946-C. 1950'S<br>THE BUILDING WAS CONVERTED<br>TO APARTMENTS IN 1946 AND C.<br>1950 STORES WERE ADDED AT<br>STREET LEVEL | 1960'S-1980'S<br>BUILDING FACADE ALTERED<br>AND ENTRANCE STAIR<br>REMOVED, BUILDING<br>PAINTED BLACK | 1981<br>DESIGNATED A<br>CONTRIBUTING BUILDING<br>TO THE UPPER EAST SIDE<br>HISTORIC DISTRICT | 1980'S-1990'S<br>2ND FL WINDOWS<br>COVERED | 2000'S -2020'S<br>EXTERIOR FACADE<br>REPAINTED TO BRICK<br>& BROWNSTONE<br>COLORS | 2022 -<br>PRESENT |
|----------------------------------|---|--|---|--|--|--|---|-------------------|

BEYER  
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BELLE

829 MADISON AVENUE  
NEW YORK, NY

LANDMARKS PRESERVATION COMMISSION  
APRIL 26, 2021

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# TIMELINE: 1980'S-2020'S



C. 1980'S-1990'S (FROM PRATESI STORE PINTREST PAGE)



C. 2000'S (FROM MICHAEL LOMBARDO GALLERY FACEBOOK PAGE)



C. 2010'S (FROM MICHAEL LOMBARDO GALLERY FACEBOOK PAGE)





# EXISTING CONDITIONS - EAST & SOUTH FACADE



MARCH 2022



FROM TWAIN TIME STORE WEBSITE



FROM VANITA GALLERY WEBSITE



FROM LE CHARLOT RESTAURANT WEBSITE



# STOREFRONT ALTERATION PRECEDENTS



C. 1940'S TAX DEPT. PHOTO

690 MADISON AVENUE



MARCH 2022

MADISON AVENUE between 62nd Street and 63rd Street West Side

No. 690-700 (1377/15, 115, 16, 17, 56)

|         | Date       | Architect       | Owner               |
|---------|------------|-----------------|---------------------|
| Erected | 1878-79 by | J. H. Valentine | for Isaac E. Doying |

ARCHITECTURE

Style neo-Grec

Elements Six five-story residences with shops on lower two floors; set below a continuous dentilled cornice at Nos. 692-696 and a parapet at Nos. 698-700 creating a base for the upper stories; brownstone facing on upper floors; all windows at upper floors have full enframements with incised stylized ornament and projecting lintels; bracketed galvanized-iron roof cornices; setback sixth story at No. 700. 62nd Street side facade of No. 690 has painted brick facing flanked by brownstone quoins; enframed ground floor entrance in end bay; galvanized-iron roof cornice continues from Madison Avenue facade.

Alterations 1900 - story added to No. 700 by G. A. Schellenger for Willy Meyer. Two-story shopfronts added to all buildings.

HISTORY Built as six houses of a row of ten (Nos. 690-708) for developer Isaac E. Doying.

References: New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets.



C. 1940'S TAX DEPT. PHOTO

710 MADISON AVENUE



MARCH 2022

MADISON AVENUE between 63rd Street and 64th Street West Side

No. 710 (1378/14)

|         | Date    | Architect   | Owner  |
|---------|---------|-------------|--|
| Erected | 1871 by | Gage Inslee | for T. G. Churchill and A. Smith, builders for Griffith Rowe |

ARCHITECTURE

Style Italianate/neo-Grec

Elements Six-story residence with shops at first two floors; painted brownstone front on Madison Avenue with corner quoins; painted brick facade on 63rd Street; full window enframements with raised projecting lintels; cornice above fifth floor on both facades; painted brick sixth floor above cornice.

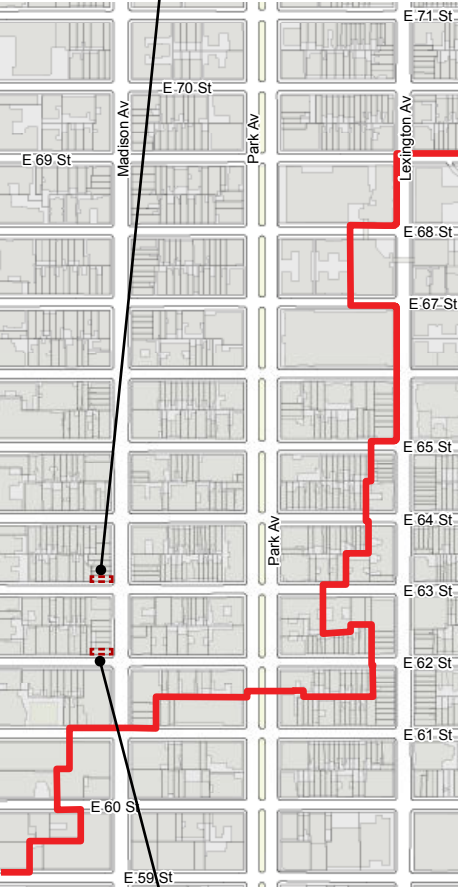
Alterations 1898 - rear extension added on 63rd Street.

1915 - converted to store, offices, and dwelling; top story added; cornice replaced.

HISTORY Built as one of a row of five houses (Nos. 710-718).

References: New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets.

710 MADISON AVENUE



690 MADISON AVENUE

UPPER EAST SIDE HISTORIC DISTRICT



# STOREFRONT ALTERATION PRECEDENTS



C. 1940'S TAX DEPT. PHOTO

711 MADISON AVENUE



MARCH 2022

MADISON AVENUE between 63rd Street and 64th Street East Side

No. 711 (1378/21)

|         | Date    | Architect      | Owner               |
|---------|---------|----------------|---------------------|
| Erected | 1877 by | Charles Baxter | for Salomon Bellman |

ARCHITECTURE

|             |   |
|-------------|---|
| Style       | neo-Grec  |
| Elements    | Five-story residence on corner site with stores at first two floors; painted brownstone front on Madison Avenue; painted brick facade with stone quoins on 63rd Street; full window enframements with raised, projecting lintels at upper three floors; three-story three-sided bay on 63rd Street; five-story rear extension on 63rd Street with ground floor entrance and storefront; bracketed galvanized-iron cornice extends around both facades at roof line. |
| Alterations | 1884 - rear extension added<br><br>1896 - entrance changed to ground floor level.<br><br>1921 - front extension at first two stories; building converted to stores, offices, and apartments.  |

|         |   |
|---------|---|
| HISTORY | Built as one of a group of ten houses (Nos. 711-719 Madison and Nos. 27-35 East 63rd Street). |
|---------|---|

|             |  |
|-------------|--|
| References: | New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets. |
|-------------|--|



C. 1940'S TAX DEPT. PHOTO

740 MADISON AVENUE



MARCH 2022

MADISON AVENUE between 64th Street and 65th Street West Side

No. 740 (1379/17)

|                | Date    | Architect       | Owner                |
|----------------|---------|-----------------|----------------------|
| Erected        | 1879 by | John G. Prague  | for William F. Croft |
| Present Facade | 1901 by | Mantle Fielding | for Georgina Harrah  |

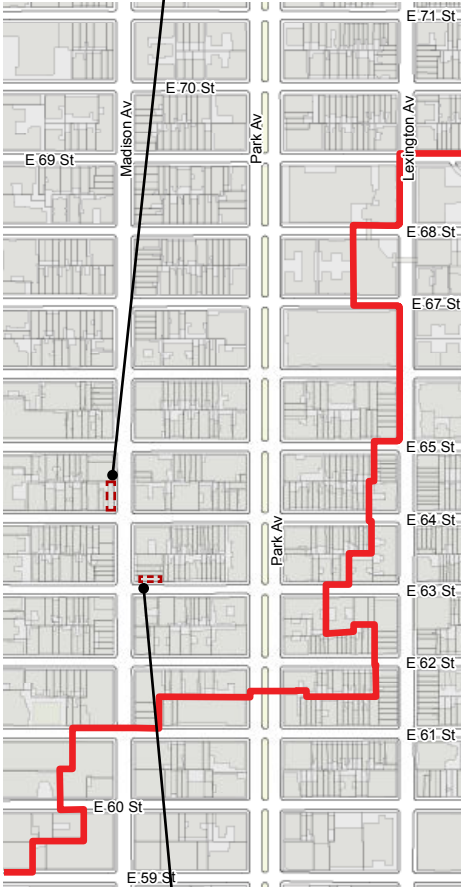
ARCHITECTURE

|                |   |
|----------------|---|
| Original Style | neo-Grec  |
| Present Style  | neo-French Renaissance  |
| Elements       | Six-story residence with shops at first three floors; stone facing; 64th Street front is an angled bay above storefronts; on Madison Avenue facade is a projecting central bay with balcony supported on large console brackets; balcony set in front of window with ornate Corinthian enframement; l'oeil de boeuf window on fifth floor; two-story angular oriel on third and fourth floors; slate peaked roof with steep peaked-roof dormers; central dormers have finials; balustrade surrounds roof. |
| Alterations    | 1901 - new front, rear and side facades<br><br>1919 - three-story extension for stores added on 64th Street front; one-story rear extension for stores; upper stories converted to apartments.  |

|         |  |
|---------|--|
| HISTORY | Originally built as one of a row of five houses (Nos. 19-27 East 64th Street). |
|---------|--|

|             |  |
|-------------|--|
| References: | New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets. |
|-------------|--|

740 MADISON AVENUE



711 MADISON AVENUE

UPPER EAST SIDE HISTORIC DISTRICT



# STOREFRONT ALTERATION PRECEDENTS



C. 1940'S TAX DEPT. PHOTO  
791 MADISON AVENUE



MARCH 2022

MADISON AVENUE between 66th Street and 67th Street East Side

No. 791 (1381/49)

|         | Date    | Architect  | Owner   |
|---------|---------|------------|---|
| Erected | 1871 by | F.S. Barus | for Jackson & Steinmetz, builders, for Russell Sage |

ARCHITECTURE

|             |  |
|-------------|--|
| Style       | Italianate/neo-Grec  |
| Elements    | Five-story residence with stores at first two floors on corner site; painted brownstone facing at upper stories on Madison Avenue; corner quoins; original brownstone window enframements with projecting lintels at upper stories; painted brick side facade on 67th Street with rectangular oriel at third floor; other windows have original enframements; roof cornice has been removed. |
| Alterations | 1896 - rear extension added<br>1907 - additions to extension<br>1925 - store front added   |

HISTORY Built as one of a row of five houses (Nos. 783-791).

References: New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets.



C. 1940'S TAX DEPT. PHOTO  
827 MADISON AVENUE



MARCH 2022

MADISON AVENUE between 68th Street and 69th Street East Side

No. 827 (1383/50)

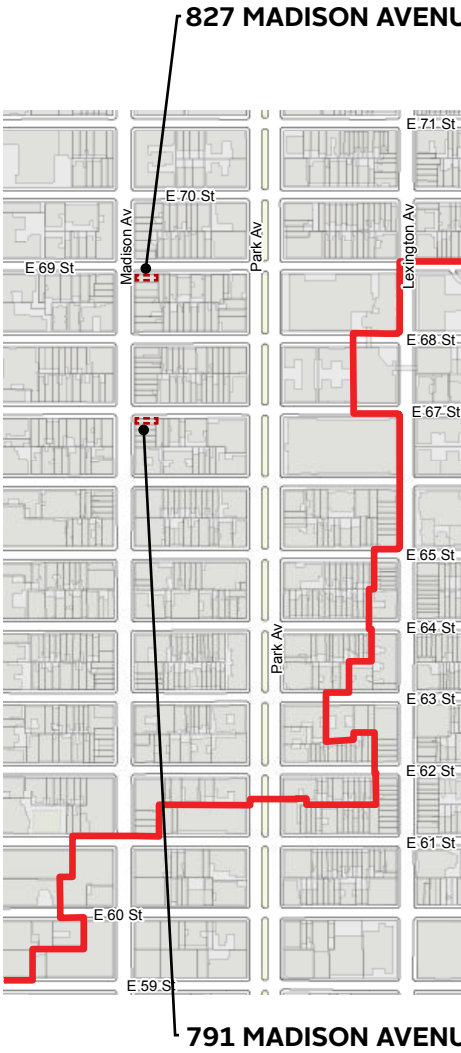
|                | Date       | Architect      | Owner                 |
|----------------|------------|----------------|-----------------------|
| Erected        | 1880-81 by | Lamb & Wheeler | for Anthony Mowbray   |
| Present Facade | 1923 by    | James Casale   | for Charles S. Haight |

ARCHITECTURE

|                |   |
|----------------|---|
| Original Style | Queen Anne  |
| Present Style  | none  |
| Elements       | Six-story residence with stores at first two floors; located on a corner site; smooth stuccoed wall surfaces; ornamental detail removed; simple window openings but many windows retain casements set below transoms. |
| Alterations    | 1923 - new Madison facade; additions to extensions; penthouse added; converted to stores and multiple dwelling.   |

HISTORY Originally built as one of a row of four houses (No. 821-827).

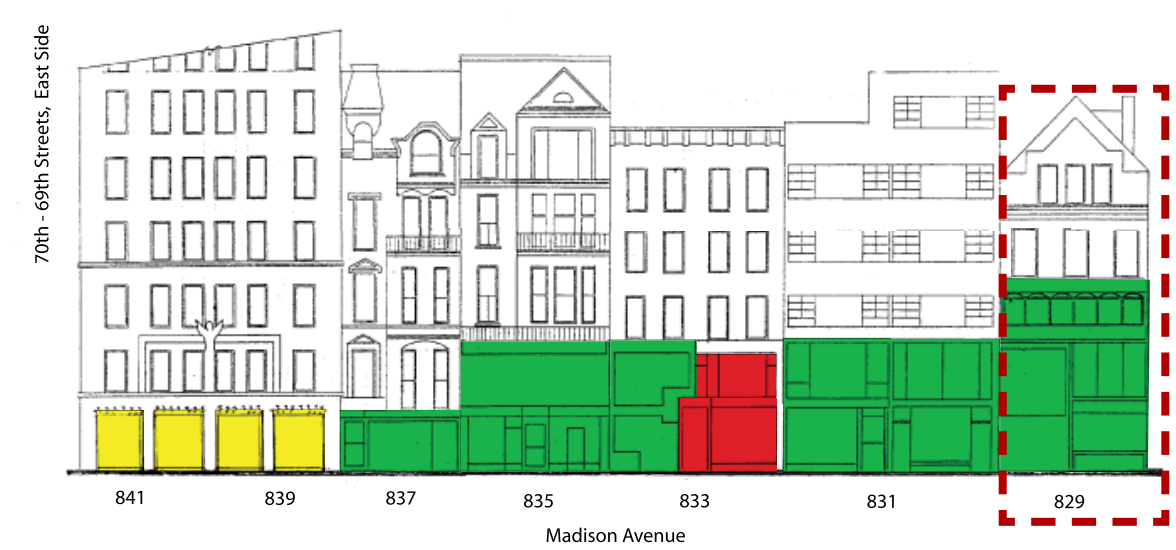
References: New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets.



UPPER EAST SIDE HISTORIC DISTRICT



# MADISON AVENUE STOREFRONT MASTER PLAN



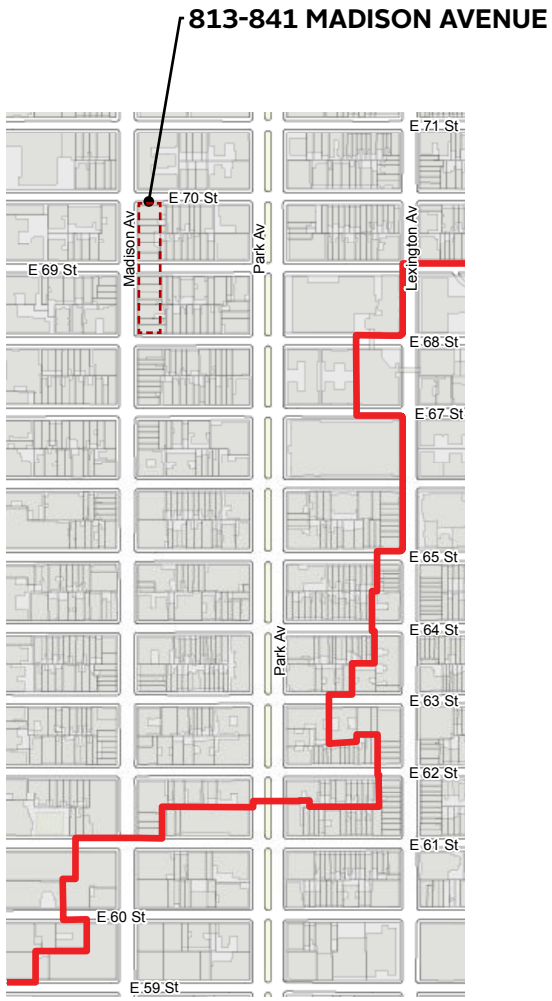
## EAST SIDE OF MADISON AVENUE FROM 68TH TO 70TH STREET

### (a) Summary of Categories and Scope of Staff-Approved Work

The following is a brief description of storefront categories and permitted alterations. It must be emphasized that the coding is based on a visual analysis of the existing storefront fabric, and that coding of storefronts as green, and in some cases yellow, represents a presumption that no historic fabric exists. Historic fabric may be concealed or obscured by modern fabric and, therefore, each application will be carefully reviewed and investigative probes may be required to determine the existence of historic fabric. If original or historic fabric is uncovered during the probes or new storefront construction, work must cease and the Commission should be notified immediately. The Commission reserves the right to amend or revoke the permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application and in the Master Plan, and to re-categorize the storefront based on the new information.

**GREEN** - Storefronts in buildings that the Upper East Side Historic District Designation Report describes as having no style, with the exception of 717-719 Madison Avenue which shall be treated as a **RED** storefront, and 884-888 Madison Avenue which shall be treated as a **YELLOW** storefront; and storefronts in converted brownstones or buildings planned for shops on lower floor(s) that have no significant architectural features remaining or that are not uniform in appearance.

For **GREEN** coded storefronts, the staff may approve new storefronts if the new storefront design conforms to the criteria relating to location (color-coded area), storefront articulation (maintaining the modularity, the horizontal division between the 1st and 2nd floor, and the street wall), and transparency, and the storefront features, including awnings, signage, security gates, lighting and air conditioners and louvers, also conform to the standards in the Master Plan.



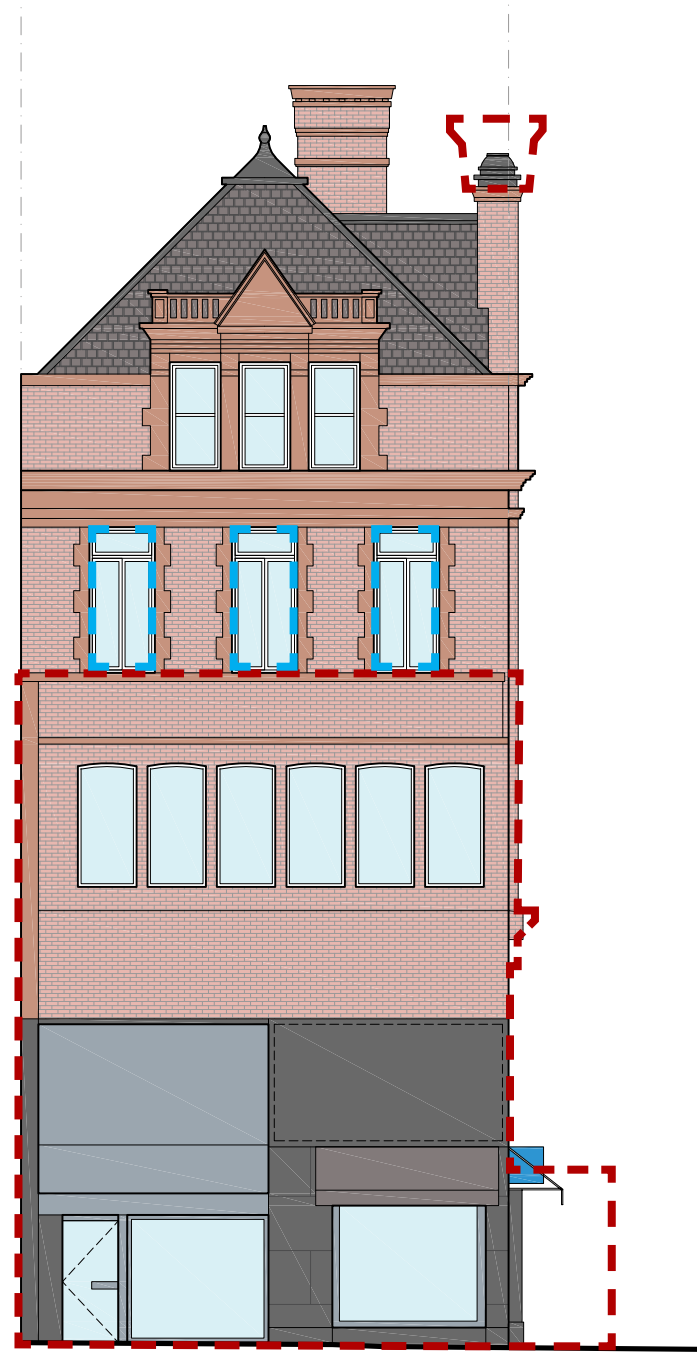
UPPER EAST SIDE HISTORIC DISTRICT



# EXISTING BUILDING FACADE ALTERATIONS

## ALTERATIONS THROUGH OUT THE DECADES:

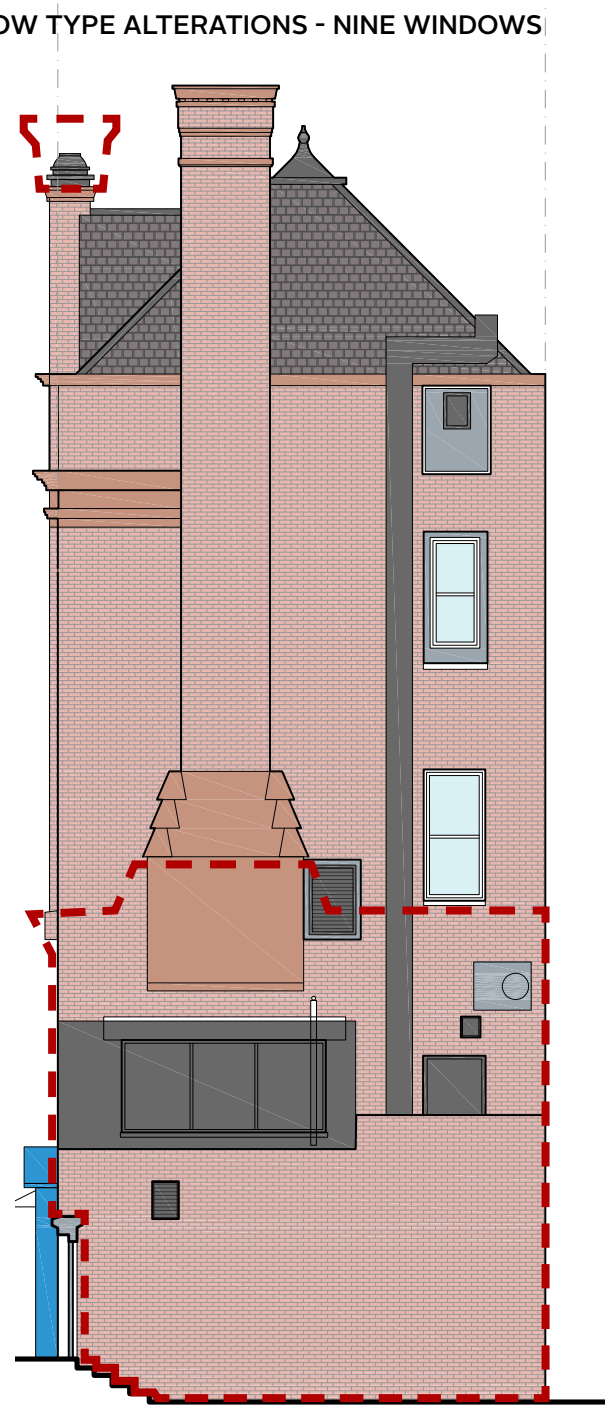
- SOUTH ENTRANCE STAIRS REMOVED AND FACADE ALTERED. ENGLISH BASEMENT LIGHT WELL FILLED.
- WEST FACADE BAY WINDOW REMOVED, RIBBON WINDOWS AT SECOND AND THIRD FL ADDED. GROUND FLOOR STORE FRONT AND AWNING ADDED.
- CORBELED CHIMNEY CAP REMOVED. THREE WINDOWS ENLARGED AT SOUTH FACADE.
- BUILDING FACADE PAINTED BLACK FROM 1960'S TO 2000'S, WINDOW TYPE ALTERATIONS - NINE WINDOWS ALTERED FROM DOUBLE HUNG TO CASEMENT WINDOWS.



WEST ELEVATION (MADISON AVENUE)



SOUTH ELEVATION (69TH STREET)



EAST ELEVATION (REAR FACADE)



EXISTING BUILDING FACADE



WEST ELEVATION



SOUTH ELEVATION



EXISTING BUILDING FACADE



PERSPECTIVE VIEW








# EXISTING BUILDING OBSERVATIONS

- LEGEND:
- / B-CR:  
Crack at brick masonry
  - B-PL:  
Peeling paint at brick masonry
  - S-PL:  
Peeling paint at stone masonry
  - S-SP:  
Spall at stone masonry
  - Assumed artificial brick
  - LPC Violation



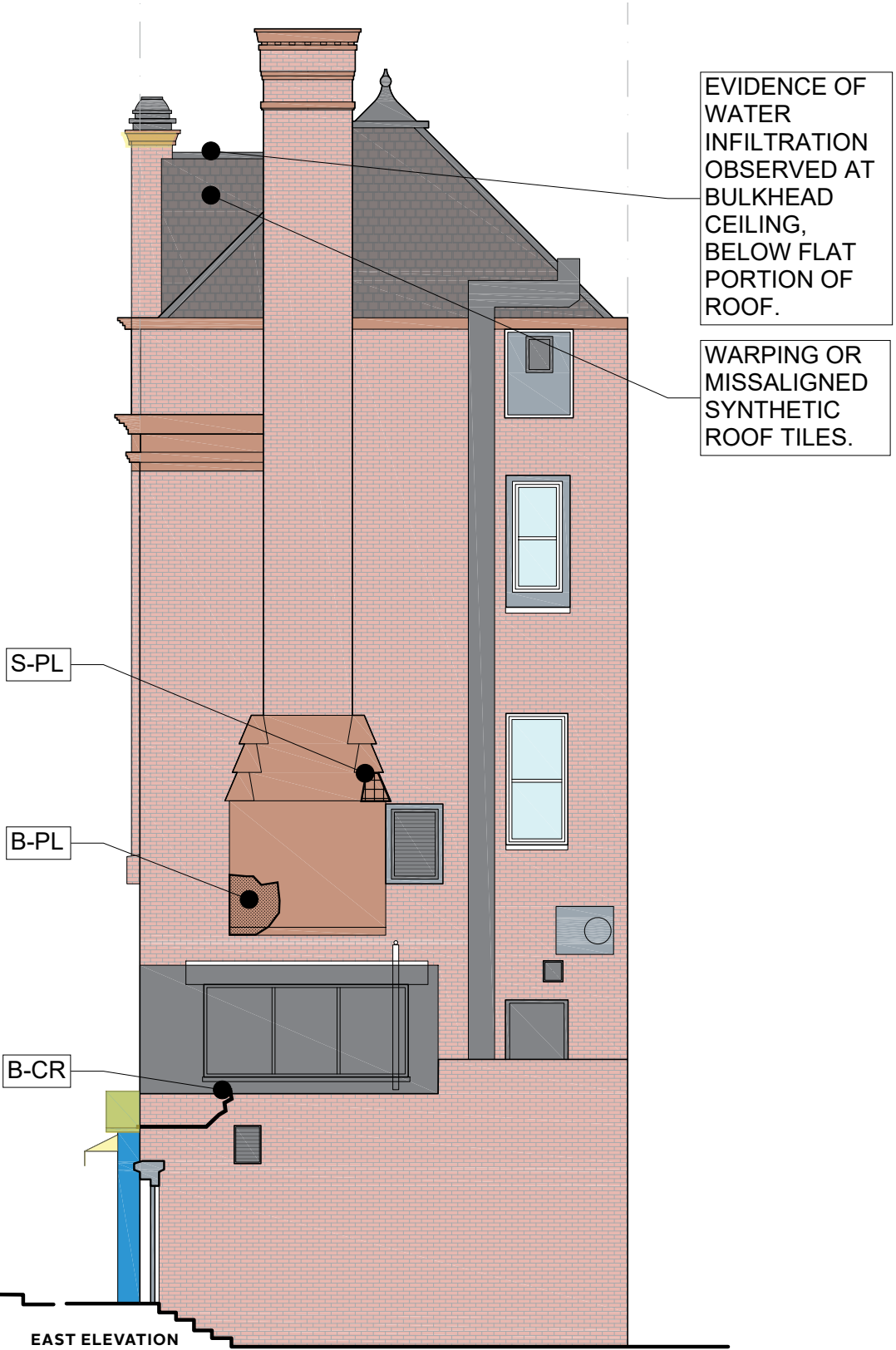


# EXISTING BUILDING OBSERVATIONS

- LEGEND:
-  B-CR:  
Crack at brick masonry
  -  B-PL:  
Peeling paint at brick masonry
  -  S-PL:  
Peeling paint at stone masonry
  -  S-SP:  
Spall at stone masonry
  -  Assumed thin brick veneer
  -  LPC Violation



WEST ELEVATION



EAST ELEVATION



CONDITIONS GLOSSARY:  
MASONRY

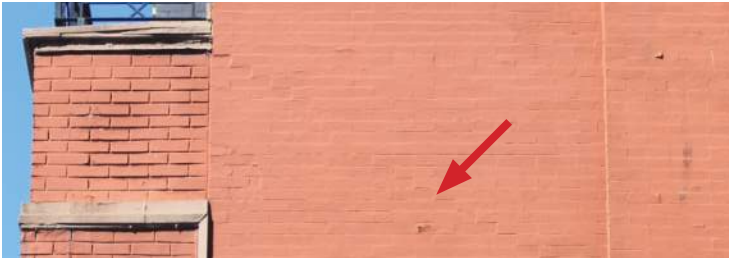
B-CR  
CRACK AT BRICK

**Description:**  
Areas with visible misalignment or separation of brick masonry units.

**Typical/predominantly-affected areas:**

1. South and East elevations.

- B-CR:**
- Proposed treatments:**
1. After paint removal, investigate brick surfaces for cracks or misalignments previously concealed by paint coating.
  2. Consult with Structural Engineer.
  3. Allow for brick replacement at cracked areas.



SOUTH ELEVATION: Brick displacement observed at SW corner.



EAST ELEVATION: Cracked mortar observed on SE corner.

B-PL  
PEELING PAINT AT BRICK

**Description:**  
Areas with visible separation of the paint coating from brick masonry surfaces. Peeling paint is commonly caused by incompatibility with the substrate, presence of moisture behind the paint or by disaggregation of the substrate.

**Typical/predominantly-affected areas:**

1. Peeling paint was observed more often on the South facade of the building, both on brick and stone masonry areas.

- B-PL:**
- Proposed treatments:**
1. Remove all existing paint coatings using chemical paint removers designed for use on historic brick.
  2. Clean exposed brick surfaces and survey for damaged bricks or missing mortar which were previously concealed by paint coatings.
  3. Replace cracked or damaged bricks with new bricks to match existing.
  4. Repoint open or damaged mortar at joints with new mortar to match existing.
  5. Provide mineral silicate coating designed for use on porous, historic masonry, may be considered in a color approved by LPC.



WEST ELEVATION: Peeling paint at brick..



SOUTH ELEVATION: Peeling paint at brick masonry and newer brick veneer.

S-PL  
PEELING PAINT AT STONE

**Description:**  
Areas with visible separation of the paint coating from stone masonry surfaces. Peeling paint is commonly caused by incompatibility with the substrate, presence of moisture behind the paint or by disaggregation of the substrate.

**Typical/predominantly-affected areas:**

1. Peeling paint was observed more often on the South facade of the building, both on brick and stone masonry areas.

- B-PL:**
- Proposed treatments:**
1. Remove all existing paint coatings using chemical paint removers designed for use on natural sandstone.
  2. Clean exposed stone surfaces.
  3. Survey for cracks, incipient spalls or missing mortar which were previously concealed by paint coatings; and provide repairs.
  4. Repoint open or damaged mortar at joints with new mortar to match existing.
  5. If loss of profile is extensive under removed paint coatings, a mineral silicate patch repair, Dutchman repair or full unit replacement will be required.



NORTH ELEVATION: Crack at granite unit.

S-SP  
SPALL / LOSS

**Description:**  
Loss at a localized section of stone resulting in a change of original profile. Spalls may be caused by several factors including corrosion jacking or impact, etc.

**Typical/predominantly affected areas:**

1. Sandstone header and cornice above dormer windows.

SP: AT ISOLATED AREAS WITH A SPALL

- Proposed treatments:**
1. Less than 1/2" in depth - tool to sound stone.
  2. 1/2" to 2" in depth - Survey area for signs of displacement.
    - If unit is not displaced, patch with a cementitious, vapor-permeable, mineral-based mortar formulated for patching exterior, non-polished stone in a color to match existing surrounding stone.
  3. 2" in depth or greater - Survey area for signs of displacement.
    - If unit is not displaced, install a Dutchman repair with stone material to match surrounding in type, color, texture, etc.
  4. Loss greater than 25% of unit - provide full unit replacement.



SOUTH ELEVATION: Spall at sandstone cornice at dormer window.



SOUTH ELEVATION: Spalls at sandstone cornice above 3rd floor window.



CONDITIONS GLOSSARY:

BUILDING ELEMENTS/SYSTEMS

DETERIORATED  
ROOF SYSTEM

**Description:**  
Several deteriorated roof elements were observed during our visit, including: Warped composite roof tiles, evidence of water infiltration, etc.

**Typical/predominantly-affected areas:**  
Roof and bulkhead were observed. Tenant reported leaks on 4th floor during our walk-through but area was not observed.

PROVIDE NEW WATERPROOFING AT ROOF

- Proposed treatments:**
- 1. Remove deteriorated materials.
  - 2. Remove and replace roof drain(s) at flat roofs. New drains to match existing.
  - 3. Provide new resin roof system at flat portions of roof.
  - 4. Provide replacement faux slate roof tiles at pitched roof, including all relevant underlayment and associated flashings.
  - 5. ALT - Investigate existing roof assembly, flashing and drainage. Provide localized roof repair(s) to address existing water infiltration.



SOUTH ELEVATION: Displaced composite tiles.



TYP. EXISTING ROOF DRAIN TO BE REPLACED AT FLAT ROOFS.

REPLACE  
DAMAGED  
SNOW GUARDS

**Description:**  
Existing snow guards at edge of roof along south facade appear bent and damaged when observing from street level.

**Typical/predominantly-affected areas:**  
At roofs.

REPLACE DAMAGED SNOW GUARDS

- Proposed treatments:**
- 1. Provide new snow guards to match existing in material, profile, location, etc.



DAMAGED EXG SNOW GUARDS AT SOUTH FACADE

WATER  
DAMAGE

**Description:**  
Significant loss, staining, efflorescence, cracks or other conditions which may arise from contact with water.

**Typical/predominantly-affected areas:**  
Stair bulkhead was observed. Tenant reported leaks on 4th floor during our walk-through but area was not observed.

AREAS WITH VISIBLE WATER DAMAGE

- Proposed treatments:**
- 1. Investigate source of water infiltration and address. Sources may include but are not limited to, failing roofing material, corrosion at windows, deteriorated facade masonry, etc.
  - 2. Repair leak. Remove damaged plaster, provide new plaster to match existing, prime and paint.



PLASTER WALL AT ROOF STAIR LANDING: Deteriorated plaster due to water infiltration.



CONDITIONS GLOSSARY:

# ACTIVE LPC VIOLATIONS

VIOLATION **03-0101** (31-July-2002)  
Replacement of 2nd easternmost E 69th Street storefront (Michael Lombardo Gallery). - See photos.

- Next steps:
  - Confirm extent of existing violation with LPC, as well as the status of its dismissal. Documentation made available to BBB suggests this violation may have been dismissed in the past but it is still shown as active on LPC website.
  - Per 09/08/2022 clarifications from LPC (Lily Fan, Esq. Director of Enforcement), Vo3-0101-Replacement of 2nd eastern-most East 69th Street shopfront (Michael Lombardo Gallery) without permit(s).

**Proposed Solution:** Existing storefront to be revised and reviewed by LPC.

VIOLATION **03-0103**: (31-July-2002)  
Replacement of 3rd and 4th floor windows without permit(s). All the casement windows on these floors to be replaced with the historic one-over-one double hung window with historic profile brickmold.

- LPC requesting casement windows be replaced with double hung with historic brick mold.
- Next steps:
  - BBB to speak with Client about options for attempting to legalize current casement windows at 3rd floor, and replacing only casement windows at 4th floor. Note, this would then need to be discussed with LPC for acceptability.

**Proposed Solution:** Existing nine casement windows to be replaced with one over one aluminum double hung windows with historic profile brickmold.

VIOLATION **05-0605**: (6-June-2005)  
Installation of awning at E 69th Street and Madison Avenue without permits.

- LPC requesting removal of awning and subsequent new filing for proposed awning.
- Next steps:
  - Confirm status of previous LPC approvals for existing awnings (Twain Time and Restaurant).
  - Proposed alterations by BBB include removal of Twain Time awning, superseding existing violation issue.
  - Existing awning at Restaurant to remain and is proposed to be legalized with LPC without removal.

**Proposed Solution:** Proposed storefront with awning by future tenant to be reviewed by LPC.

VIOLATION **09-0475**: (29-Sept-2008)  
Complete exterior restoration is non-compliant with Permit 04-6382, issued April 23, 2004.

- Next steps:
  - BBB needs information about approved permit and drawings for chimney cap replacement. Seemingly, the red paint was acceptable.

**Proposed Solution:** Proposed exterior restoration scopes and materials to be reviewed by LPC.

VIOLATION **09-0476**: (29-Sept-2008)  
Plaque above 19 E 69th Street indicating Michael Lombardo.

- Next steps:
  - Confirm status of violation withdrawal. Non-compliant plaque was removed, per Steven B Rabinoff email.

**Proposed Solution:** No Action - Non-compliant plaque has been removed.

VIOLATION **03-0101** (31-July-2002)  
Replacement of 2nd eastern-most East 69th Street shopfront (Michail Lombardo Gallery) without permit(s)



PREVIOUS MICHAEL LOMBARDO GALLERY  
ENTRANCE STOREFRONT (FROM FACEBOOK)

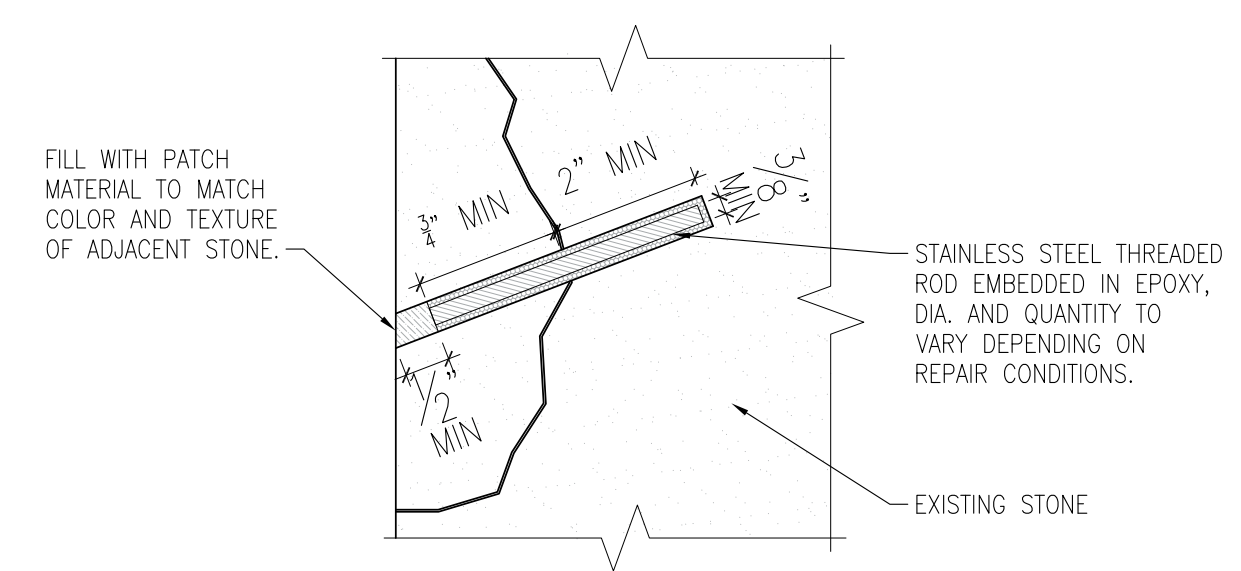


CURRENT VANITA GALLERY (LOCATED AT 3RD FL )  
ENTRANCE STOREFRONT

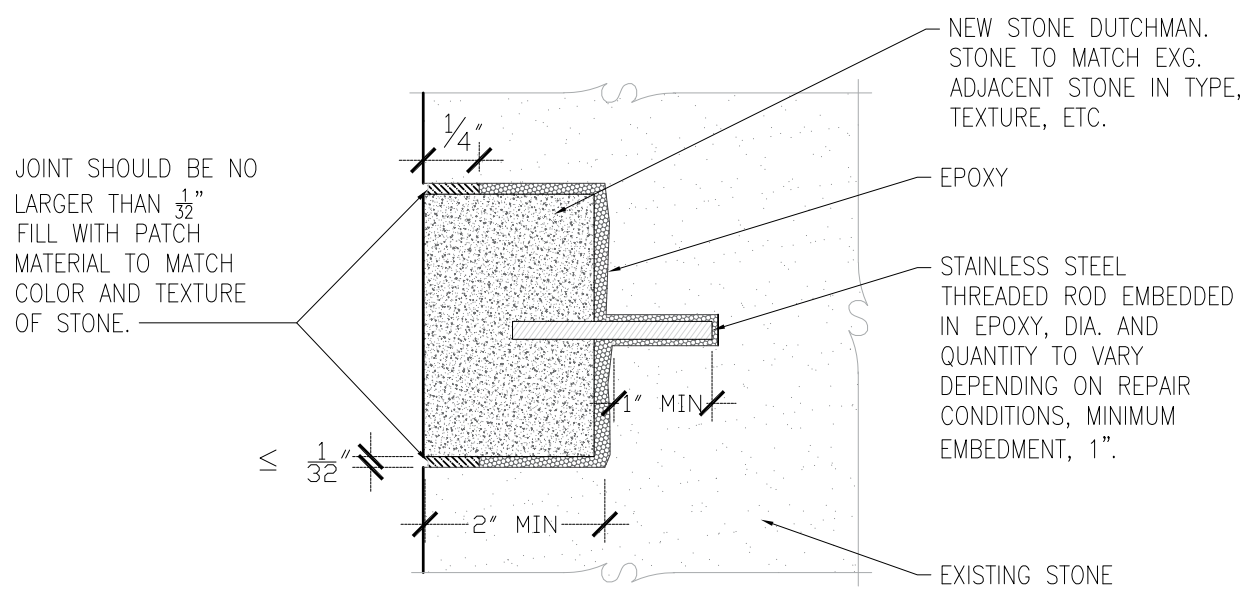


CONDITIONS GLOSSARY:

TYPICAL STONE REPAIR DETAILS



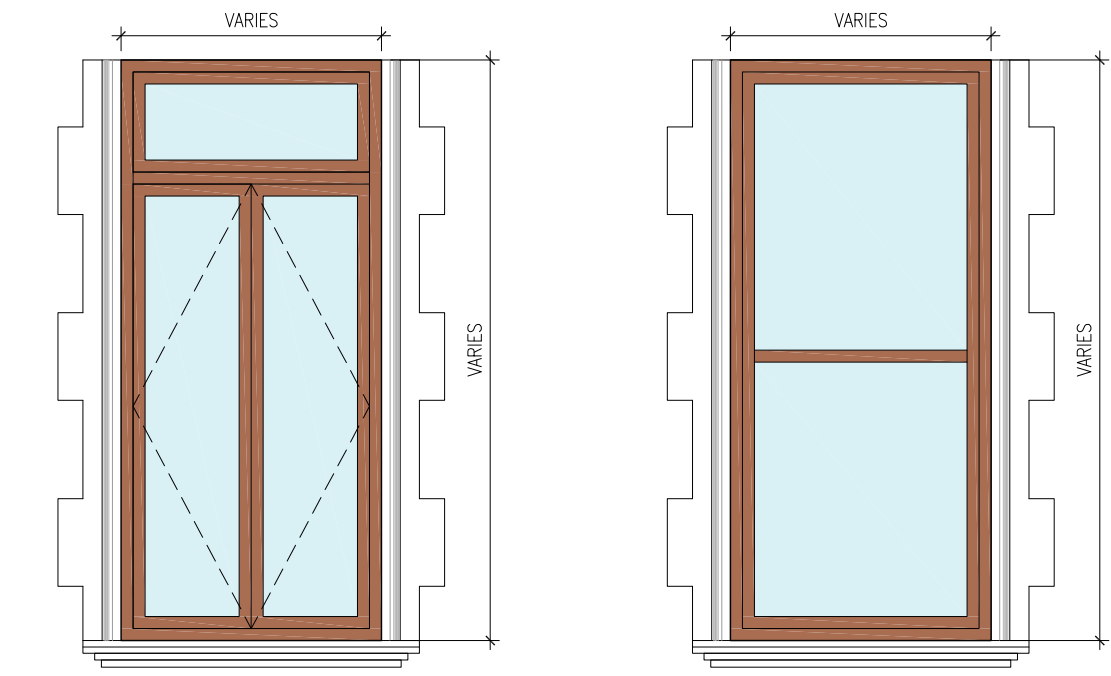
TYPICAL STONE CRACK REPAIR DETAIL WITH STAINLESS STEEL PIN



TYPICAL STONE DUTCHMAN REPAIR DETAIL

CONDITIONS GLOSSARY:

WINDOW REPLACEMENT DETAILS



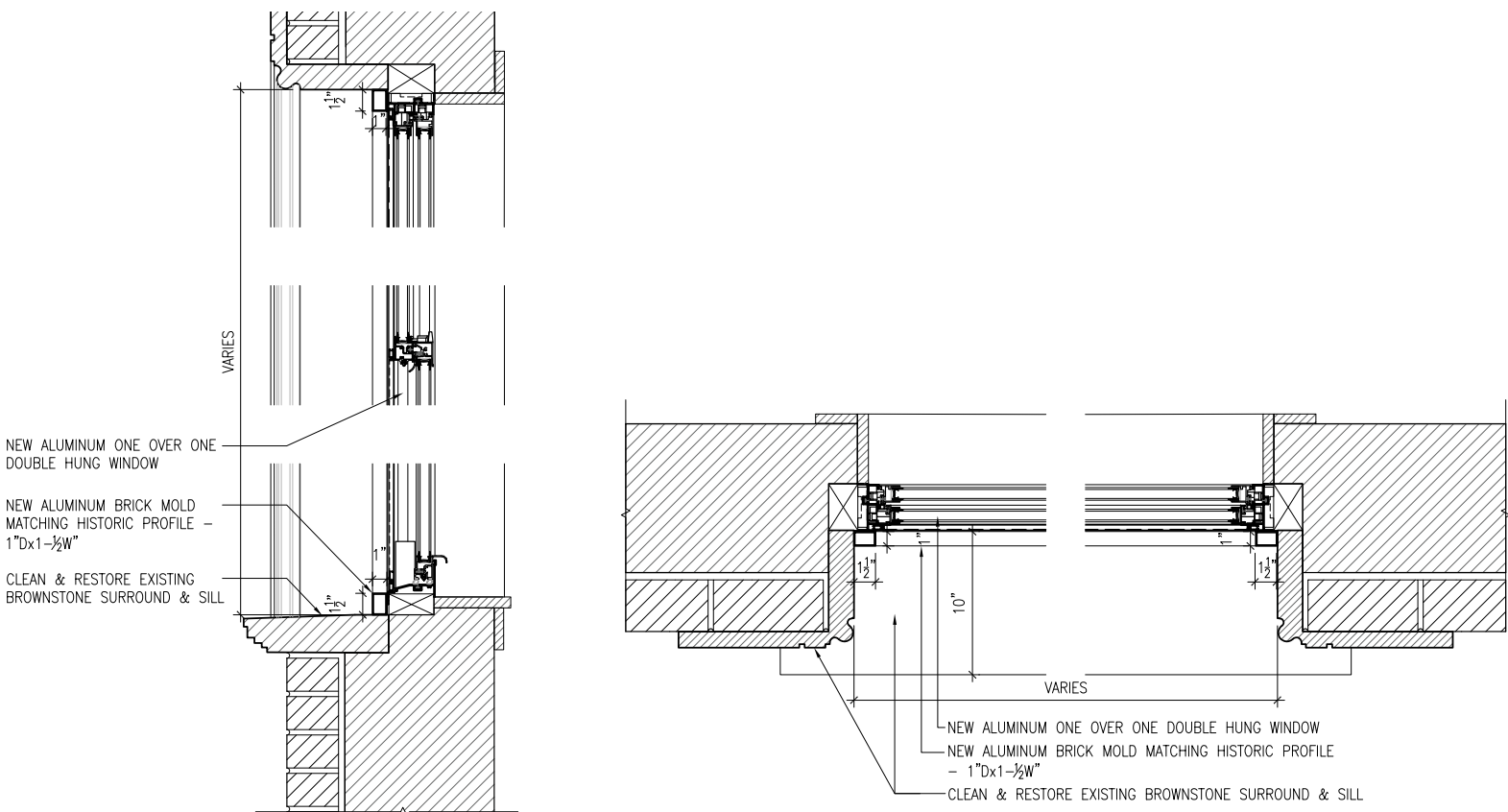
EXISTING CASEMENT WINDOWS

PROPOSED DOUBLE HUNG WINDOWS



ORIGINAL PAINTED WOOD  
BRICK MOLD AT 3RD FL  
WINDOW, 1-1/2" WIDE X  
1" DEEP  
  
PHOTO OF EXISTING WOOD  
BRICK MOLD AT THIRD FL  
WINDOW

EXISTING NINE CASEMENT WINDOWS TO BE REPLACED WITH ONE OVER ONE DOUBLE HUNG WINDOWS WITH HISTORIC PROFILE BRICK MOLD.



PROPOSED ONE OVER ONE DOUBLE HUNG WINDOW DETAILS WITH HISTORIC PROFILE BRICK MOLD



# PROPOSED BUILDING ELEVATIONS - WITHOUT AWNING





# PROPOSED ELEVATIONS & STREET VIEW WITHOUT AWNING



PERSPECTIVE VIEW



# PROPOSED BUILDING ELEVATIONS - WITH AWNINGS





# PROPOSED ELEVATIONS & STREET VIEW WITH AWNINGS



PERSPECTIVE VIEW



# OVERALL MATERIAL PALETTE



**BRICK COATING ON EXISTING BRICK:**  
KEIM MINERAL SYSTEM COLOR 9182



**NEW GRFC CORNICE:**  
IN BROWNSTONE COLOR



**NEW BRICK & MORTAR:**  
BROWNSTONE FACE BRICK IN PIONEER BLEND SMOOTH MODULAR WITH SPEC MIX MORTAR IN LIGHT TAN (LEHIGH 6372)



**BIRD SAFE TRANSPARENT FILM**



**STOREFRONT GLASS:**  
1" LOW IRON, LOW-E IGU





**ROOFING REPLACEMENT:**  
DAVINCI FAUX SLATE IN SLATE GRAY



**SNOW GUARD:**  
ALPINE SNOW GUARD HALF ROUND PAD STYLE IN COPPER AT UPPER ROOF  
THREE PIPE STYLE POWDER COATED IN COLOR BLACK AT EVE



**WINDOW FRAMES AND GRILLE:**  
DARK BRONZE ALUMINUM



**GRANITE BASE:**  
JET MIST FLAMED FINISH

**MATERIAL BOARD**