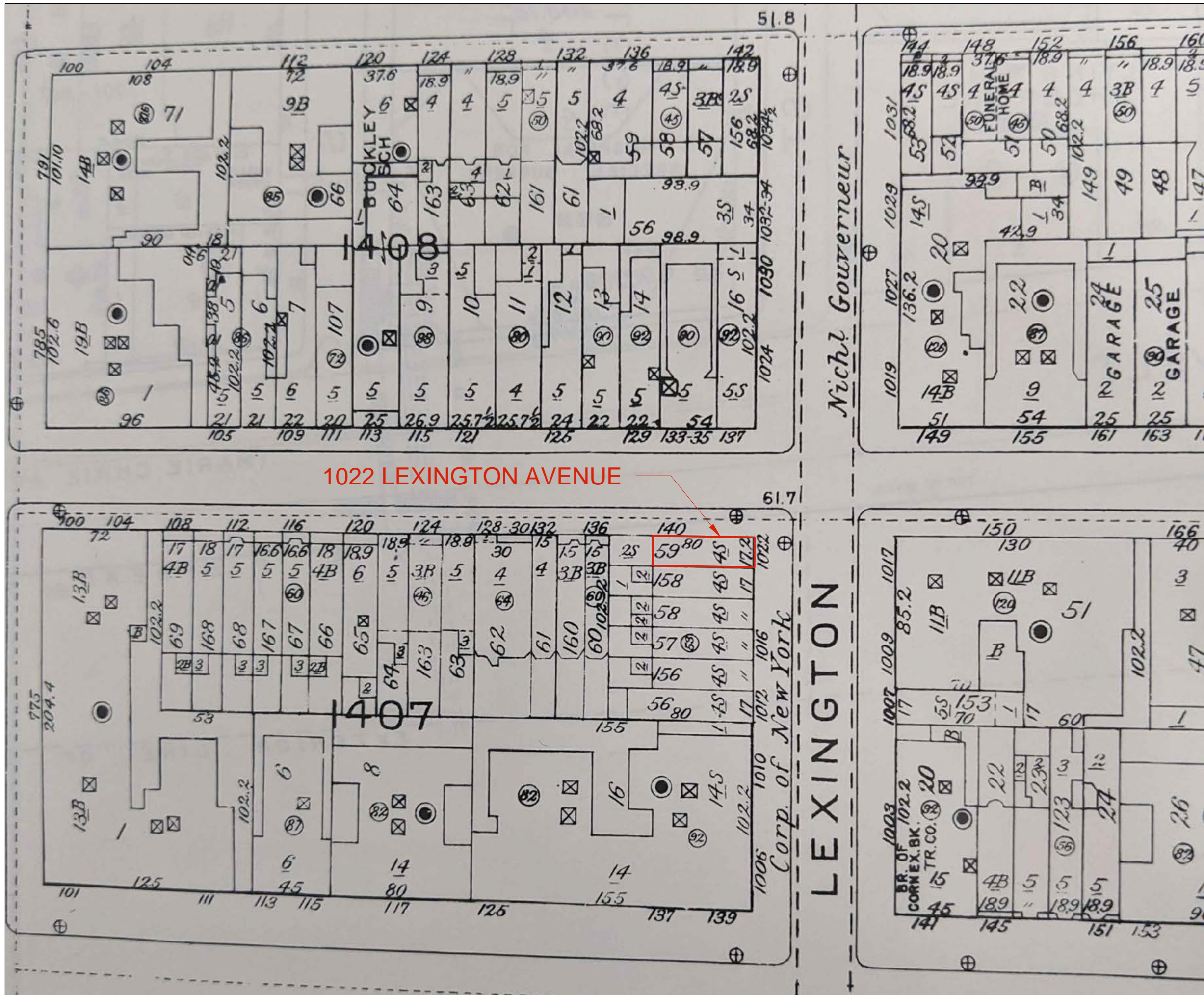


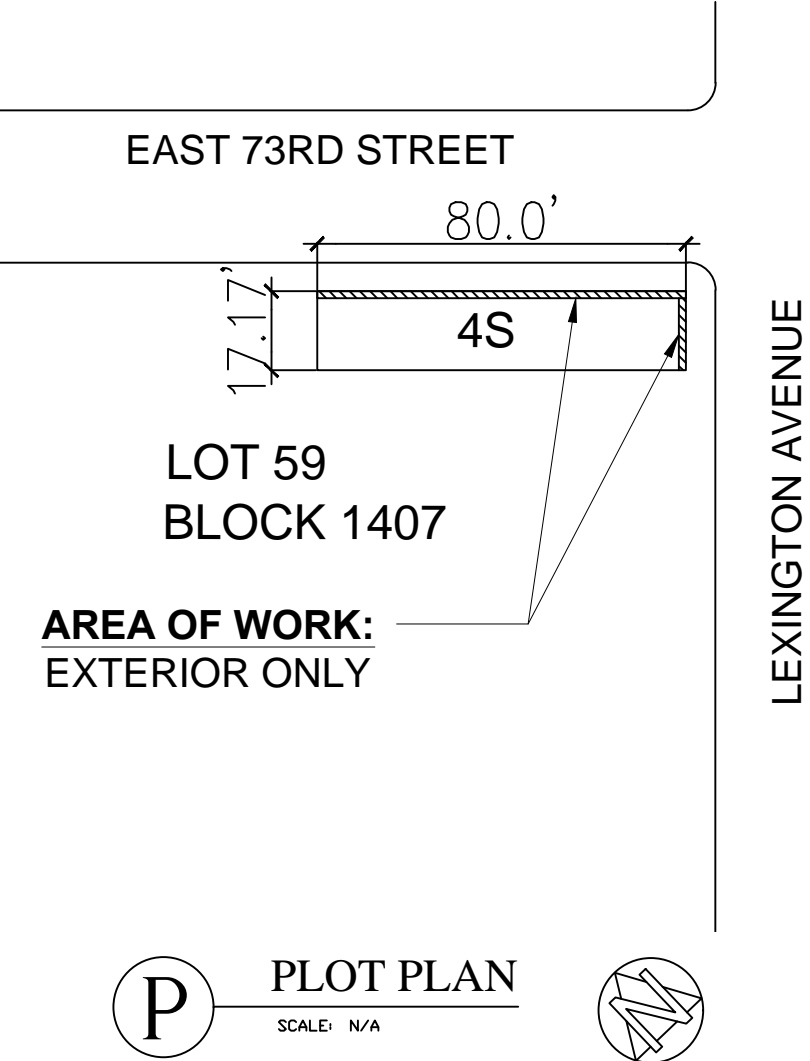
1022 LEXINGTON AVENUE
Landmarks Preservation Commission - Docket # 20-09550



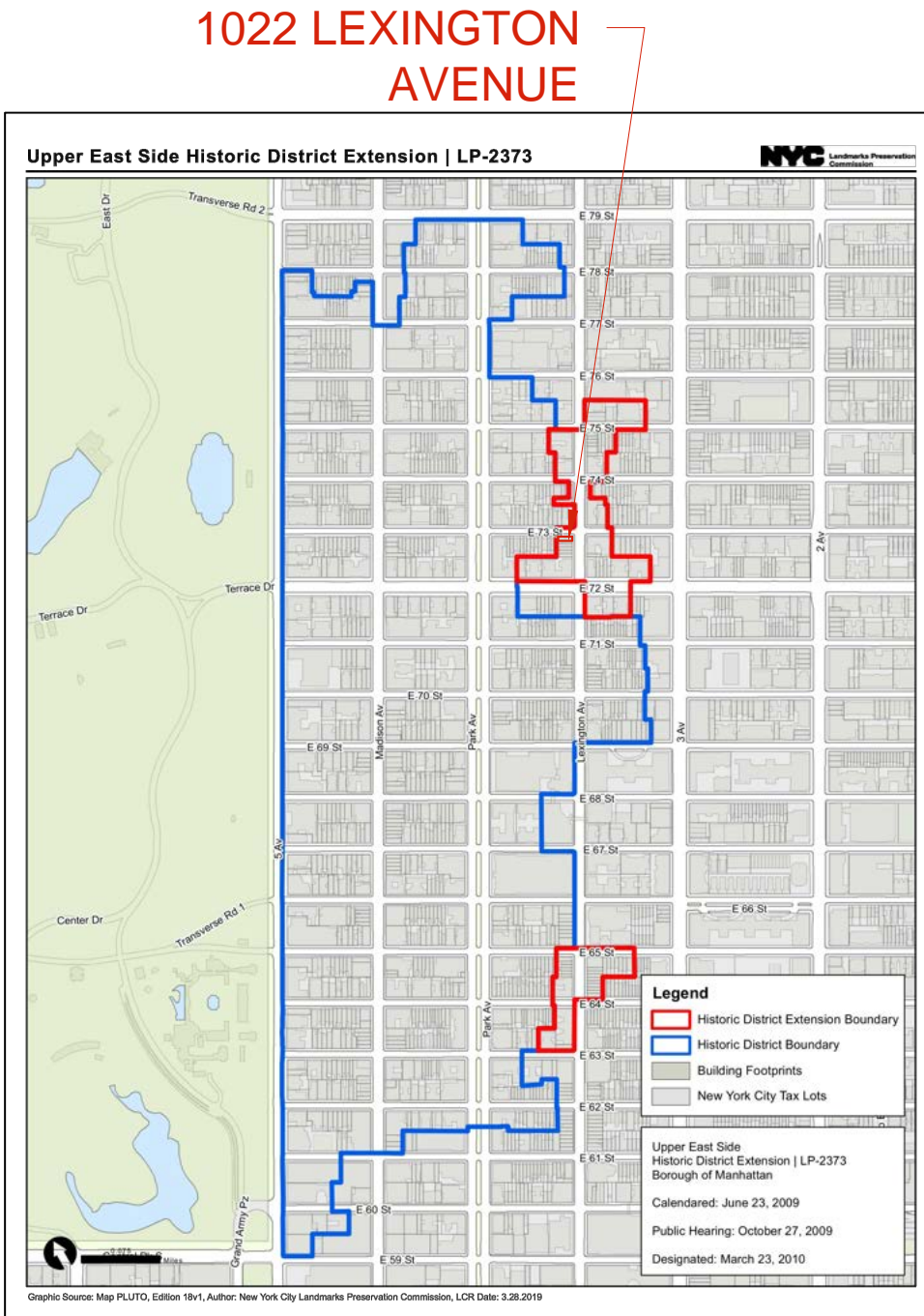
1 SANBORN MAP
SCALE: N/A



2 TAX MAP
SCALE: N/A



BUILDING INFORMATION:
Block: 1407
Lot: 59
STORIES: 16
Map: 8c
Zone: C1-8X

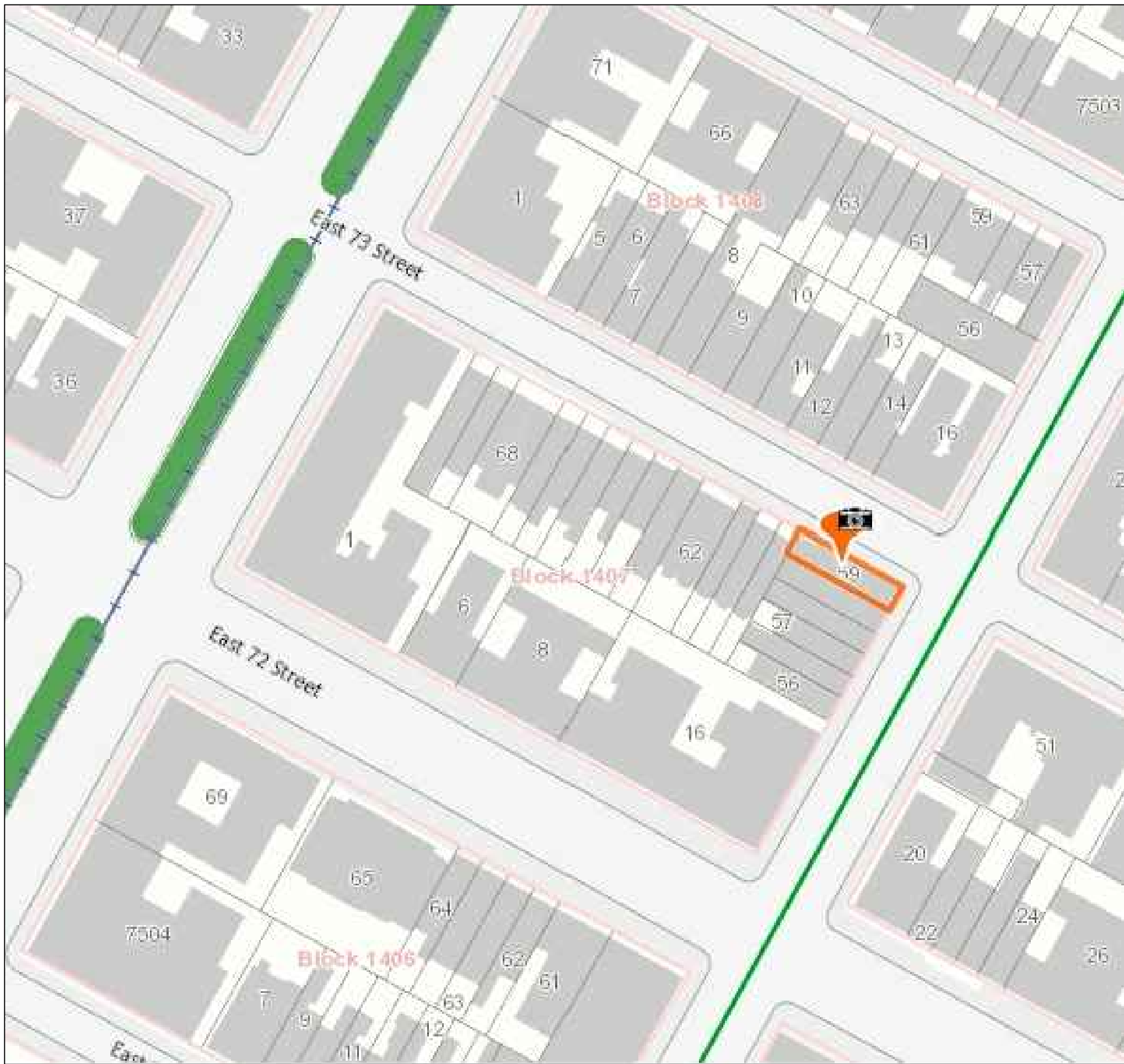


** Historic Building - Exempt from NYCECC compliance as per
Local Law 85, 2011 NYCECC;
Upper East Side Historic District (Boundary Increase) **

Upper East Side Historic District
(Boundary Increase) (added 2006 - #06000822)
Portion of 17 blks adjacent to and E of the original
district bet. E. 60th and E 75th Sts. , New York

Historic Significance: Event, Architecture/Engineering
Architectural Style: Late 19th And 20th Century Revivals, Late Victorian
Area of Significance: Architecture, Community Planning And Development
Period of Significance: 1950-1974, 1925-1949, 1900-1924, 1875-1899, 1850-1874
Owner: Local/Private
Historic Function: Commerce/Trade, Domestic, Government, Religion
Historic Sub-function: Church School, Diplomatic Building, Financial Institution,
Multiple Dwelling, Professional, Religious Structure,
Single Dwelling
Current Function: Commerce/Trade, Domestic, Government, Religion
Current Sub-function: Church School, Diplomatic Building, Financial Institution,
Multiple Dwelling, Professional, Religious Structure,
Single Dwelling

Statement: To the best of my knowledge, belief and professional
judgement this application is in compliance with the NYCECC.



3 BLOCK MAP
SCALE: N/A

9-7-20	ISSUED TO CB8	OK
Date:	Rev. No.	Remarks:
PLOT PLAN SANBORN MAP TAX & BLOCK MAP		
LEX 73 HOLDINGS LLC		
1022 LEXINGTON AVENUE NEW YORK, NY 10021		
BODNAR ARCHITECTURE P.C. 675 Madison Avenue Suite 3R, New York NY 10065 P. 212 921 4466 - F. 212 730 1246		
Scale: NTS	Drawn by: OK	Checked by: TB
Drawing No. LPC-001.00	Date: 9/3/2020	Page No. 1 OF 15



BA



1 1940 TAX PHOTO
SCALE: 1/4"

LANDMARKS DESIGNATION REPORT

References:

Display Advertisement, *New York Times*, September 23, 1918, 15; “Julius Tishman Dies: A Leader in Realty,” *New York Times*, January 10, 1935, 19.

1012, 1014, 1016, 1018, 1020 Lexington Avenue, 1022 Lexington Avenue (aka 138-140 East 73rd Street)

Borough of Manhattan Tax Map Block
1407 Lots 56, 156 (Historic Lot 56 ½),
57, 58, 158 (Historic Lot 58 ½), 59

Date of Construction: 1880-81 (NB 326-80)

Architect: Thom & Wilson

Original Owner: James Judge

Type: Row houses; now mixed use

Style: Neo-Grec with alterations (nos. 1012, 1016, 1022); altered neo-Grec (no. 1018);
stripped neo-Grec (nos. 1014 and 1020)

Stories: Three and basement

Material: Brownstone and brick



History: This row of six neo-Grec style brownstone and brick dwellings was built in 1880-81 for developer James Judge during the building boom that followed the city’s recovery from the Panic of 1873. It is likely that each of the houses was initially occupied by an individual family, often with a number of live-in servants and the occasional boarder—a fact borne out in census records from 20 years later in 1900. It also appears that the early ownership patterns varied from property to property; some were rented out from the beginning as a source of income, while others were owner-occupied for several decades by the same family.

Many of the houses in the row were altered during the 1920s and early 1930s as Lexington Avenue became increasingly commercialized following the opening of the subway in 1917. These alterations often involved the removal of the building’s tall stoop and the conversion of the basement and parlor floors for commercial use—which sometimes involved the erection of a two-story front extension to the property’s lot line. Frequently the upper floors of the dwellings were also partitioned into a number of apartments or non-housekeeping boarding rooms. Most of these early commercial alterations have undergone further changes and little historic fabric remains at the basement and parlor floors. The upper stories of several of the dwellings remain largely unchanged from the original 1880-81 construction, while others have either had much of the original detail stripped or an entirely new facade installed.

1022 Lexington Avenue (aka 138-140 East 73rd Street) Three-story and basement neo-Grec style brick row house with two visible primary facades and one partially-visible rear elevation. **Lexington Avenue Facade:** Two bays wide; commercial alterations to basement and parlor floor; historic alterations to parlor floor include the creation of a single large display window opening with a narrow molded blind transom panel above, topped with a projecting molded beltcourse; upper floors feature rectangular window openings with projecting enframements consisting of molded lintels with scrolled brackets, incised pilasters, and bracketed sills; projecting beltcourses run between the windows along the line of the window sills on the upper floors; galvanized iron cornice with a frieze of rosettes alternating with block modillions and incised pendants. **East 73rd Street Facade:** Facade consists of a wider section at left containing four bays of irregularly spaced and sized window openings, a narrower section at right containing three bays of regularly spaced and sized window openings, and a two-story extension at rear of building at far right; commercial alterations to basement floor and a portion of the parlor floor at left; the left-most bay of window openings in left section is separated from those to the right by a slightly projecting chimney; the parlor floor of left section features, from left to right, a single large rectangular display window, the projecting chimney, a smaller display window, a larger display window, and a rectangular window opening with projecting enframing; the three large display window openings on the parlor floor have multi-pane windows with narrow molded transom panels, topped by a projecting molded beltcourse; the second and third stories of the left section contain, from left to right, a single bay of residential window openings with the projecting beltcourses on the main facade returning along the line of the window sills, the projecting chimney, a bay of small bathroom windows; another bay of residential window openings, and another bay of small bathroom window openings, where the residential window openings have projecting enframements similar to those on the upper floors of the Lexington Avenue facade and the bathroom window openings have simple projecting sills; the window openings in the right section are similar to those on the upper floors of Lexington Avenue facade, with the exception of the left opening on the parlor floor, which was previously an entrance and is slightly larger with a similar enframing; the building’s cornice returns along the entire length of the East 73rd Street facade; the two-story extension has commercial alterations to ground floor, while the upper floor features two bays of window openings with enframements similar to those on the primary facade; extension has a corbelled brick cornice with a decorative wrought-iron railing installed above. **West Facade:** Rear facade partially visible from street level; two bays of rectangular window openings; ornamental wrought-iron balconies installed in front of both windows at third story; the building’s cornice returns along entire width of rear facade.

Alterations: Basement along the Lexington Avenue facade features a sunken and recessed entrance vestibule at left with a stucco enframing ornamented with raked detailing, with a storefront at right consisting of a single large opening fitted with a large plate glass window flanked by two smaller single-pane windows; basement is clad with horizontal wood strips; retractable cloth awning installed above basement storefront; parlor floor display window replaced with a multi-pane casement window; basement along East 73rd Street level features two separate storefronts, the left of which returns from the main facade; the left storefront contains four large storefront openings and a smaller service entrance at right, and is clad with horizontal wood strips; retractable cloth awnings are installed above the width of this storefront; the right storefront contains, from left to right, a large display window opening fitted with a single pane of glass, a recessed commercial entrance accessed by a single step and fitted with single-pane glass door, another large display window opening, and a recessed service entrance fitted with a metal door; storefront is clad with cementitious material; four holes for through-wall air-conditioning units have been punched through the facade; upper floor windows on both primary facades replaced; facade painted.

9-7-20		ISSUED TO CB8	OK
Date:	Rev. No.	Remarks:	By:

TAX PHOTO & LANDMARKS DESIGNATION REPORT

LEX 73 HOLDINGS LLC

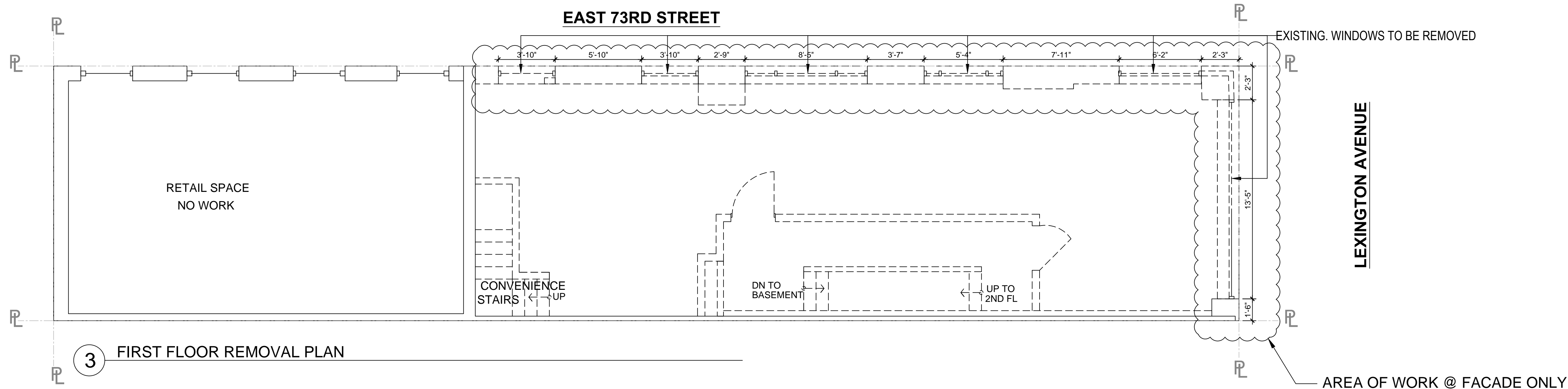
1022 LEXINGTON AVENUE
NEW YORK, NY 10021

BODNAR ARCHITECTURE P.C.
675 Madison Avenue Suite 3R, New York NY 10065
P. 212 921 4466 – F. 212 730 1246

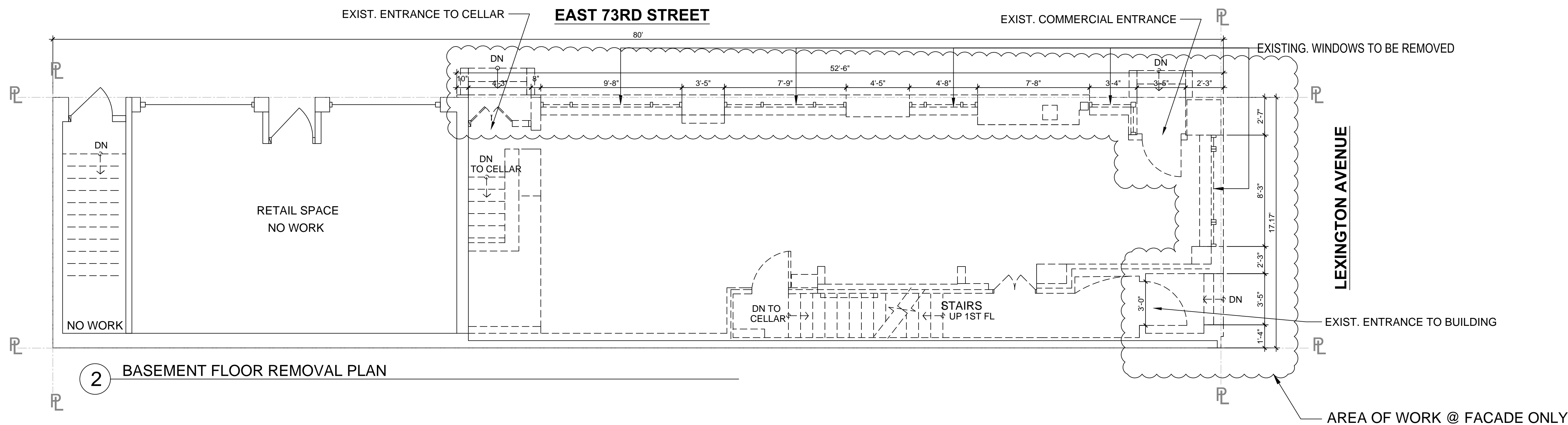
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Drawing No.	Page No.
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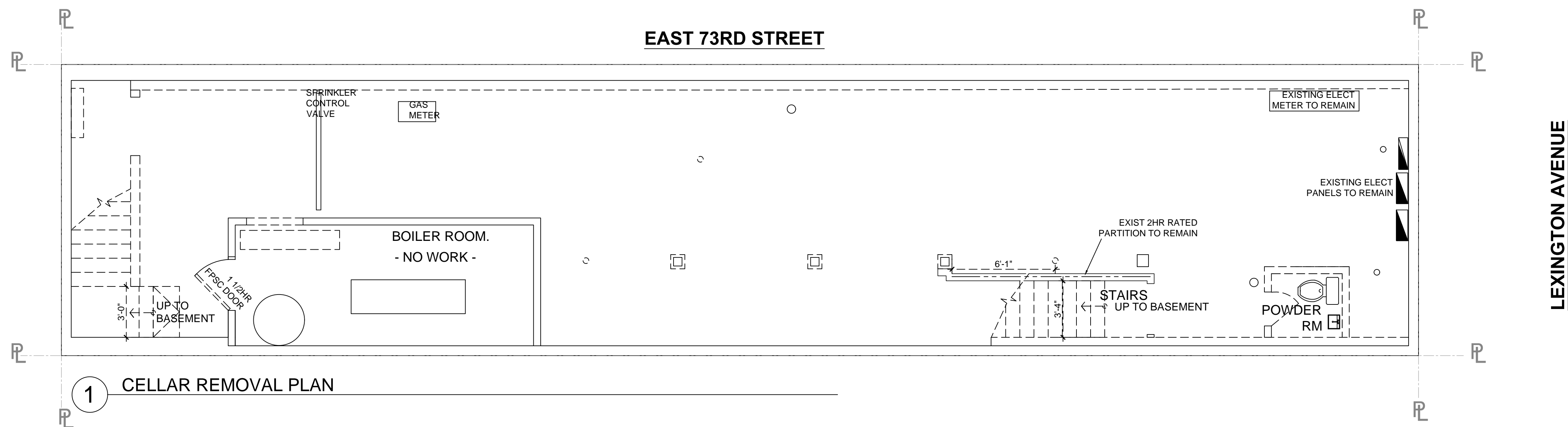
LPC-002.00 2 OF 15



3 FIRST FLOOR REMOVAL PLAN



2 BASEMENT FLOOR REMOVAL PLAN



1 CELLAR REMOVAL PLAN

- LEGEND:**
- EXIST. WALLS TO BE REMOVED
 - EXIST. WALLS TO REMAIN
 - EXIST. DOORS TO BE REMOVED
 - EXIST. DOORS TO REMAIN

LANDMARKS NOTE:
ALL WORK UNDER THIS APPLICATION IS EXTERIOR WORK ONLY. INTERIOR WORK FILED UNDER SEPARATE APPLICATION.

9-7-20		ISSUED TO CB8	OK
Date:	Rev. No.	Remarks:	By:

CELLAR, BASEMENT & 1ST FLOOR REMOVAL PLANS

LEX 73 HOLDINGS LLC

1022 LEXINGTON AVENUE
NEW YORK, NY 10021

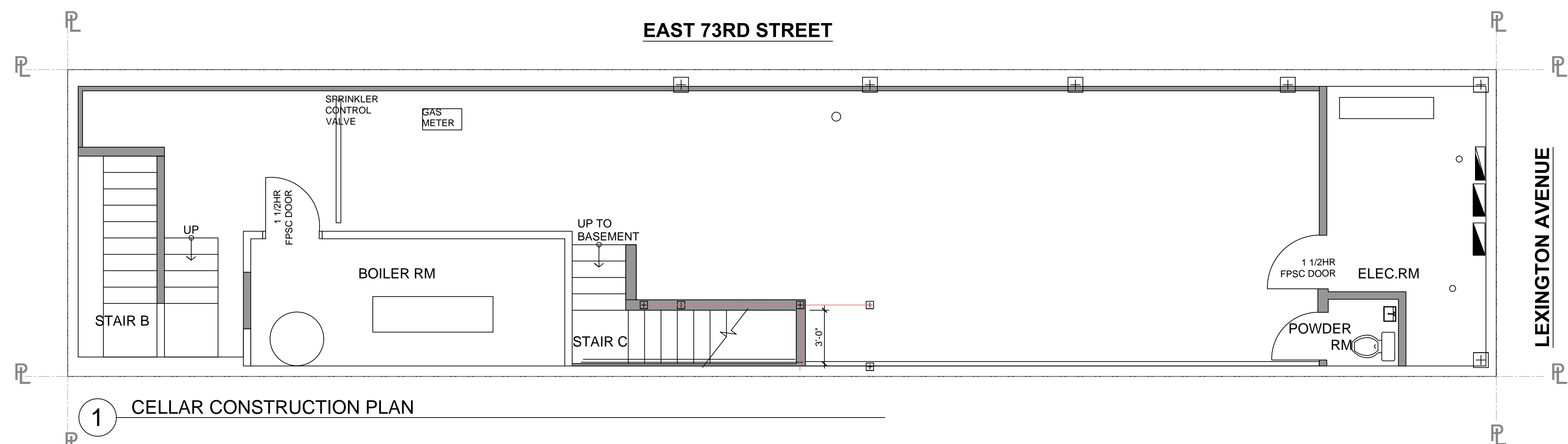
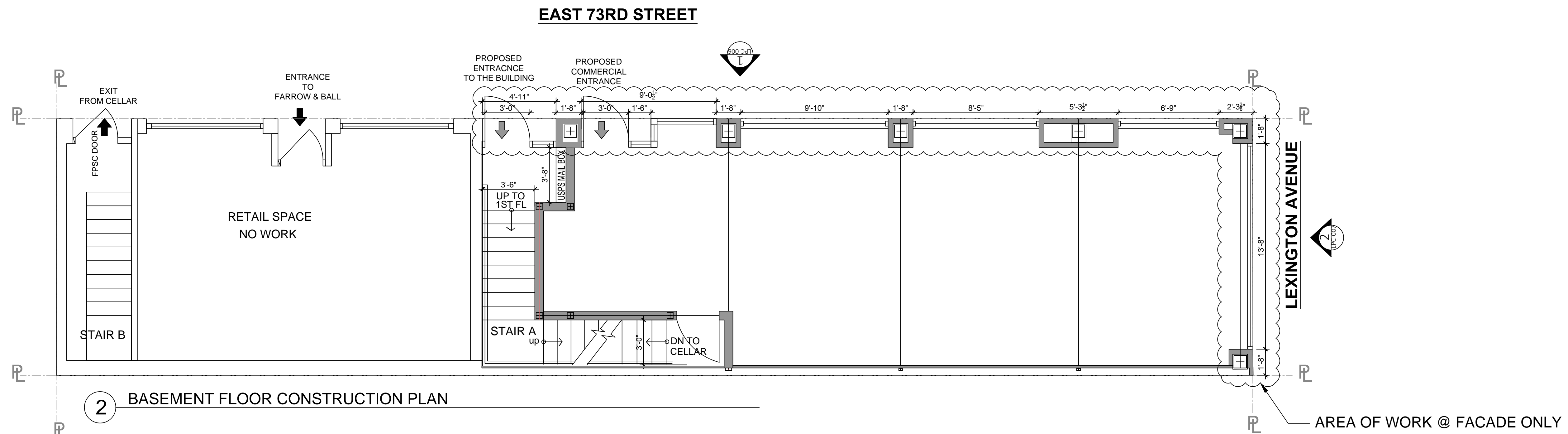
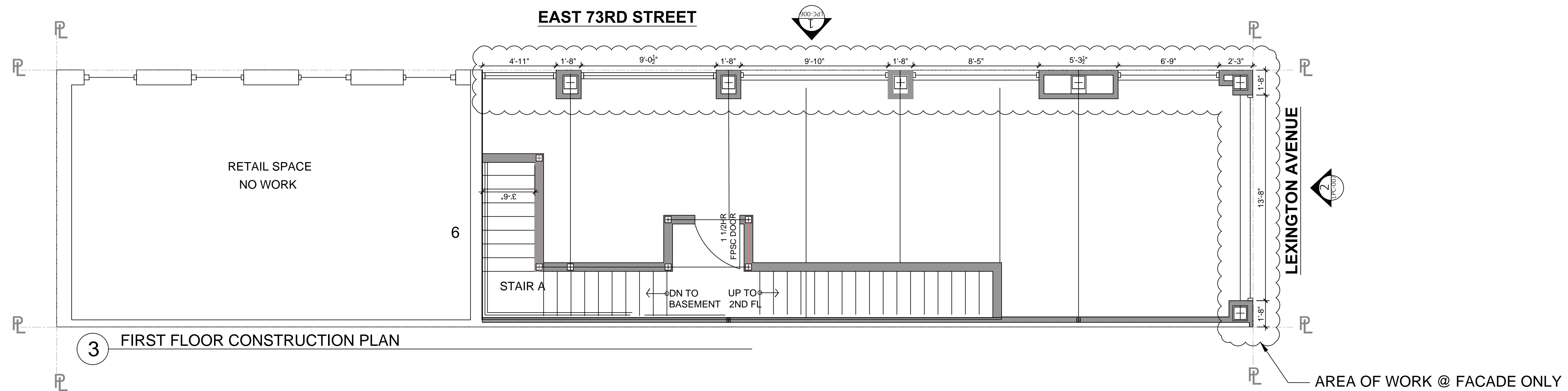
BODNAR ARCHITECTURE P.C.
675 Madison Avenue Suite 3R, New York NY 10065
P. 212 921 4466 - F. 212 730 1246

Scale: 1/4" = 1'-0"	Drawn by: OK	Checked by: TB	Date: 5/6/2020
Drawing No.	Page No.		

LPC-003.00 3 OF 15



BA



LEGEND:

- EXIST. WALLS TO REMAIN
- NEW WALLS
- NEW DOORS

LANDMARKS NOTE:
ALL WORK UNDER THIS APPLICATION IS EXTERIOR WORK ONLY.
INTERIOR WORK FILED UNDER SEPARATE APPLICATION.

9-7-20		ISSUED TO CB8	OK
Date:	Rev. No.	Remarks:	By:

CELLAR, BASEMENT & 1ST FLOOR PROPOSED PLANS

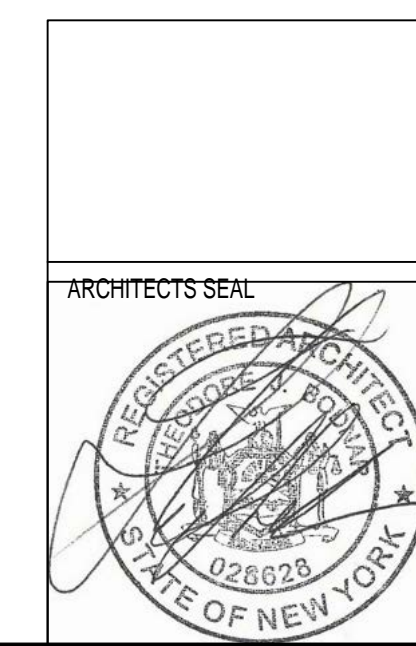
LEX 73 HOLDINGS LLC

1022 LEXINGTON AVENUE
NEW YORK, NY 10021

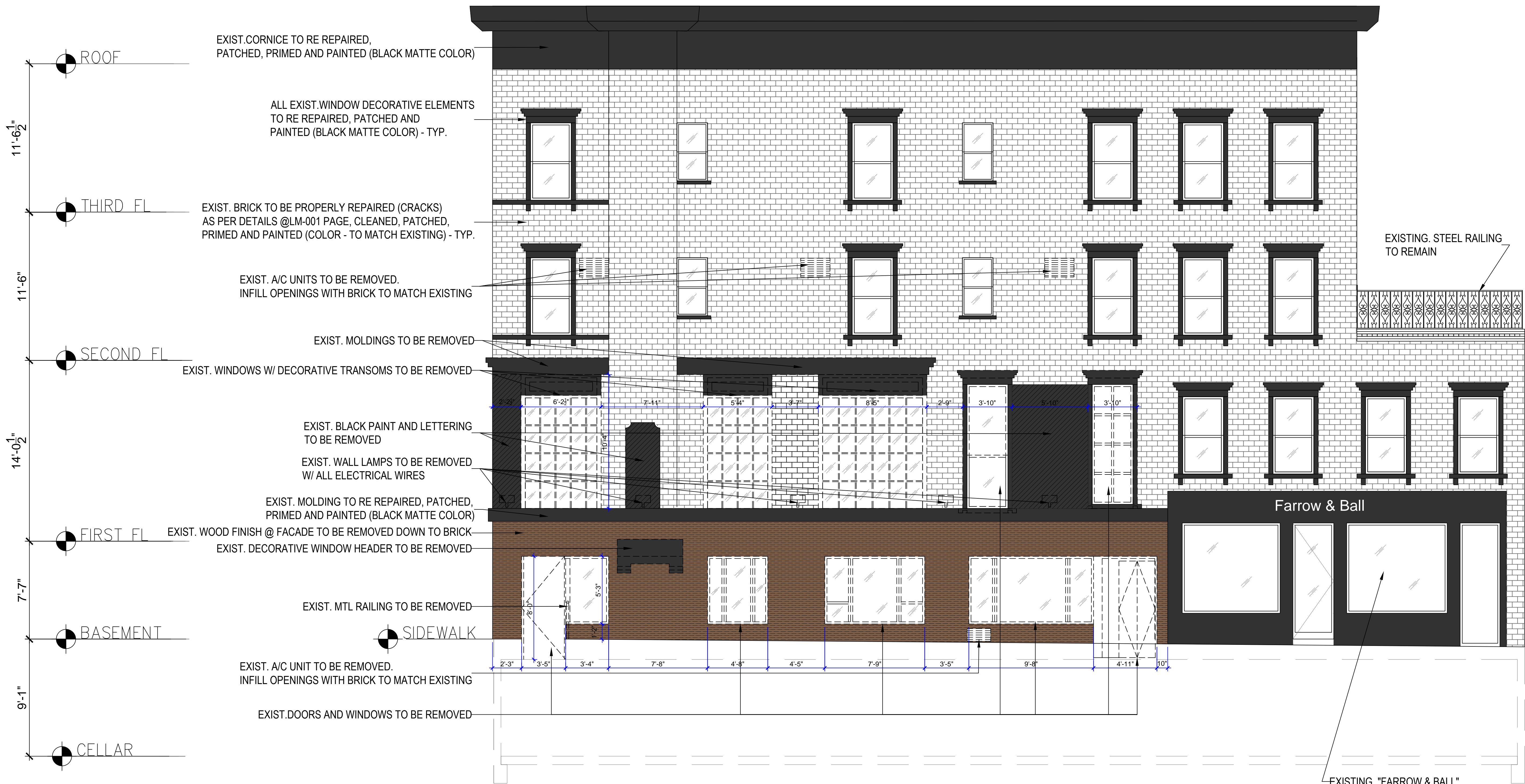
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675 Madison Avenue Suite 3R, New York NY 10065
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Drawing No.		Page No.	

LPC-004.00 4 OF 15



BA



1 EAST 73rd STREET NORTH ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"

EXISTING. "FARROW & BALL"
STOREFRONT TO REMAIN

EXISTING. STEEL RAILING
TO REMAIN

EAST 73RD STREET NORTH ELEVATION DEMOLITION

LEX 73 HOLDINGS LLC

1022 LEXINGTON AVENUE
NEW YORK, NY 10021

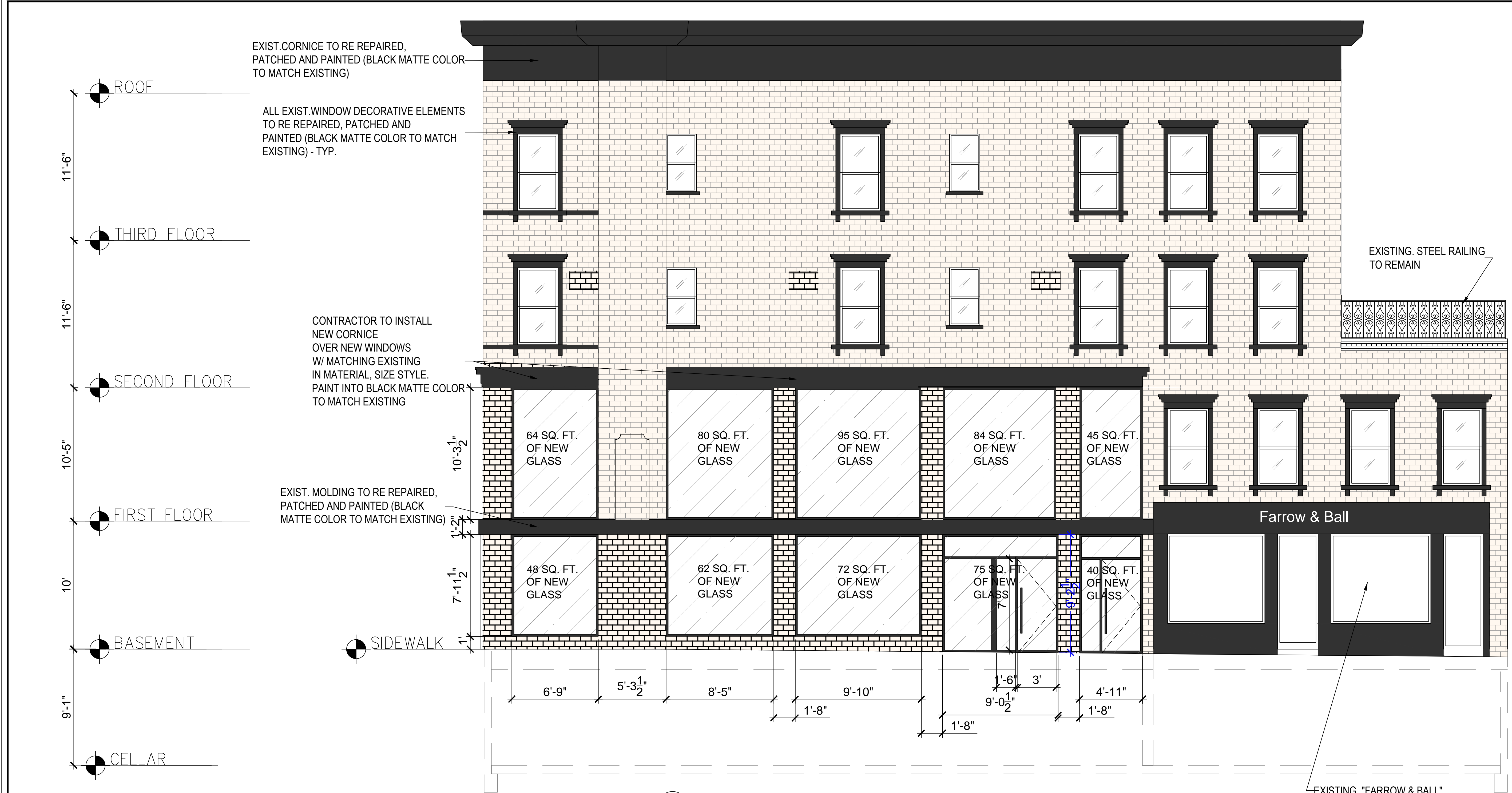
BODNAR ARCHITECTURE P.C.
675 Madison Avenue Suite 3R, New York NY 10065
P. 212 921 4466 - F. 212 730 1246

Scale: 1"=1'-0" Drawn by: JM/OK Checked by: TB Date: 3/19/2020
Drawing No. Page No.

LPC-005.00 5 OF 15



BA



1 EAST 73rd STREET NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

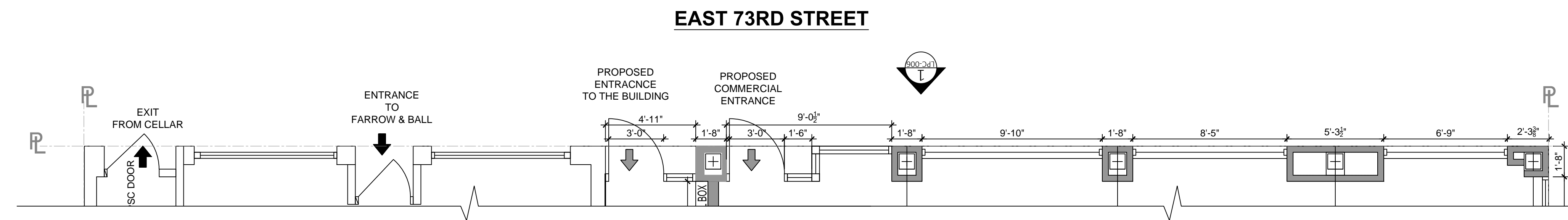
NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
REPOINTING OF JOINTS BETWEEN STONES AND BRICKS
A PROBLEM TO BE ANTICIPATED IN ANY MASONRY STRUCTURE IS THE EVENTUAL DETERIORATION OF THE MORTAR IN THE JOINTS BETWEEN THE STONES AND BRICKS. IN ORDER TO RETAIN THE STONES OR BRICKS IN PLACE AND TO PREVENT WATER INFILTRATION, MISSING MORTAR SHOULD BE REPLACED. THE TERM FOR THIS REPLACEMENT IS "REPOINTING" OR "TUCKPOINTING." REPOINTING IS THE PROCESS OF REMOVING DETERIORATED MORTAR FROM THE JOINTS OF A MASONRY WALL AND REPLACING IT WITH NEW MORTAR. A WALL'S MORTAR BINDS TOGETHER THE INDIVIDUAL MASONRY ELEMENTS AND CREATES A WATERTIGHT SEAL AT THE JOINTS BETWEEN THE INDIVIDUAL MASONRY ELEMENTS. WHEN PROPERLY EXECUTED, REPOINTING RESTORES BOTH THE PHYSICAL AND VISUAL INTEGRITY OF THE MASONRY.

THE MAIN CAUSES OF MORTAR DETERIORATION ARE WEATHERING AND EROSION DUE TO WIND AND RAIN. ALTHOUGH MORTAR JOINTS ARE NOT PERMANENT, A GOOD POINTING JOB SHOULD LAST 50 TO 100 YEARS. DAMAGED OR MISSING MORTAR CAN ALLOW MOISTURE TO PENETRATE INTO THE BUILDING AND CAUSE SEVERE DETERIORATION TO THE MASONRY, INTERIOR WALLS AND OTHER PARTS OF THE BUILDING. REPOINTING, IF NOT EXECUTED PROPERLY, CAN BE DISASTROUS TO A BUILDING'S FUNCTION AND APPEARANCE. A BAD REPOINTING JOB CAN RUIN THE NEAT, EVEN APPEARANCE OF A MASONRY WALL AND CAUSE POOR BONDING BETWEEN THE MORTAR AND THE MASONRY. POOR BONDING OCCURS BECAUSE THE MORTAR IS NOT PROPERLY MIXED, THE JOINTS ARE NOT CLEANED OUT EFFECTIVELY OR AN EXCESSIVELY HARD MORTAR SHRINKS, ALLOWING WATER INFILTRATION. THE MORTAR USED FOR REPOINTING SHOULD BE SLIGHTLY LESS HARD AND DENSE THAN THE BRICK OR STONE SO THAT THE JOINTS PROVIDE AREAS WHERE THE WALL CAN BREATHE AND MOISTURE CAN EVAPORATE. A DENSE MORTAR CAN ACCELERATE DETERIORATION OF THE MASONRY AND WILL GIVE A POOR BOND. IT ALSO WILL SHRINK WHEN IT DRIES, CAUSING HAIRLINE CRACKS BETWEEN IT AND THE MASONRY, AND IT MAY BREAK, TRAPPING MOISTURE WHICH WILL EXPAND ON FREEZING AND DISLODGE THE MORTAR. IT MAY ALSO STAIN THE MASONRY IF IT'S TOO RICH IN CEMENT.

MASONRY CLEANING TECHNIQUES
THE FOLLOWING CLEANING TECHNIQUES ARE GROUPED IN ORDER OF HARSHNESS, WITH THE GENTLE METHODS FIRST:
• LOW-PRESSURE WATER WASH THAT DOES NOT EXCEED 500 PSI WITH BRISTLE (NOT METAL) BRUSH;
• WATER SHEETING, WHICH SOAKS THE FAÇADE WITH WATER OVER A PERIOD OF ABOUT A WEEK (THIS METHOD CAN CAUSE WATER TO INFILTRATE THE FAÇADE, CAUSING DAMAGE TO THE INTERIOR OF A BUILDING);
• CHEMICAL OR DETERGENT CLEANING AND A LOW-PRESSURE WATER WASH THAT DOES NOT EXCEED 500 PSI (ACID CLEANERS CAN DISSOLVE CERTAIN TYPES OF STONE AND MORTAR OR CAUSE STAINING AS A RESULT OF CHEMICAL REACTIONS);
• APPLICATION OF A CHEMICAL POULICE, ESPECIALLY FOR STAINING PROBLEMS RATHER THAN SUPERFICIAL DIRT.

THE FOLLOWING METHODS OF MASONRY CLEANING ARE NOT ALLOWED:
• HIGH-PRESSURE WATER WASHES ABOVE 500-600 PSI. THIS METHOD CAN CAUSE WATER INFILTRATION AND THE WATER ITSELF CAN ACT AS AN ABRASIVE, DISLODGING OLD SOFT MORTAR, DAMAGING STONE AND BRICK BY PITTING THE SURFACE, REMOVING THE OUTER CRUST OF THE STONE OR BRICK, AND BREAKING CARVED DETAILS.
• ABRASIVE CLEANING METHODS, INCLUDING SANDBLASTING OR THE USE OF ANY TYPE OF ABRASIVE GRIT, AS WELL AS THE USE OF THESE ABRASIVES MIXED WITH WATER.

NOTE:
THE WORK WILL TAKE PLACE WHEN THE EXTERIOR TEMPERATURE REMAINS A CONSTANT 45 DEGREES F OR ABOVE FOR A 72-HOUR PERIOD FROM THE COMMENCEMENT OF THE WORK



2 PARTIAL BASEMENT PROPOSED PLAN
SCALE: 1/4" = 1'-0"

LEGEND

EXIST. BRICK - REPAIR, CLEAN, PATCH, PRIME & PAINT (COLOR TO MATCH EXISTING)

NEW BRICK - TO MATCH EXISTING. PRIME & PAINT (COLOR TO MATCH EXISTING)

NEW GLASS WINDOWS/DOORS (FRAME COLOR - BLACK TO MATCH EXISTING)

PROPOSED COLOR FOR DECORATIVE MOLDINGS/CORNICES & DOORS/WINDOWS FRAMES:
Name: Jet Black 2120-10 by Benjamin Moore
Finish: Matte



PROPOSED COLOR FOR BRICK:
Name: White Dove OC-17 by Benjamin Moore
Finish: Matte



EAST 73RD STREET NORTH ELEVATION PROPOSED

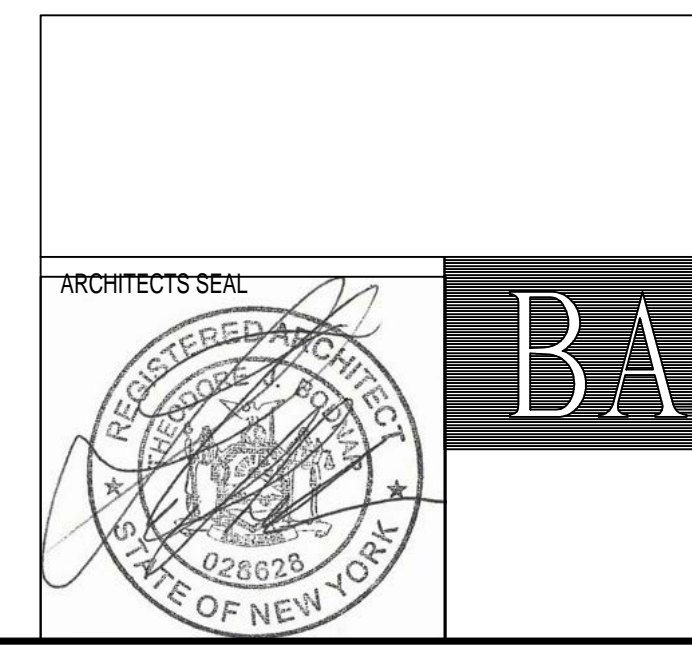
LEX 73 HOLDINGS LLC

1022 LEXINGTON AVENUE
NEW YORK, NY 10021

BODNAR ARCHITECTURE P.C.
675 Madison Avenue Suite 3R, New York NY 10065
P. 212 921 4466 - F. 212 730 1246

Scale: 1"=1'-0" Drawn by: JM/OK Checked by: TB Date: 3/19/2020
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LPC-006.00 6 OF 15





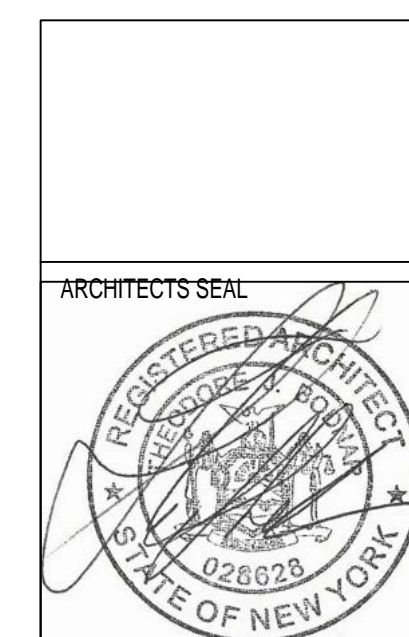
THE MAIN CAUSES OF MORTAR DETERIORATION ARE WEATHERING AND EROSION DUE TO WIND AND RAIN. ALTHOUGH MORTAR JOINTS ARE NOT PERMANENT, A GOOD POINTING JOB SHOULD LAST 50 TO 100 YEARS. DAMAGED OR MISSING MORTAR CAN ALLOW MOISTURE TO PENETRATE INTO THE BUILDING AND CAUSE SEVERE DETERIORATION TO THE MASONRY, INTERIOR WALLS AND OTHER PARTS OF THE BUILDING. REPOINTING, IF NOT EXECUTED PROPERLY, CAN BE DISASTROUS TO A BUILDING'S FUNCTION AND APPEARANCE. A BAD REPOINTING JOB CAN RUIN THE NEAT, EVEN APPEARANCE OF A MASONRY WALL AND CAUSE POOR BONDING BETWEEN THE MORTAR AND THE MASONRY. POOR BONDING OCCURS BECAUSE THE MORTAR IS NOT PROPERLY MIXED, THE JOINTS ARE NOT CLEANED OUT EFFECTIVELY OR AN EXCESSIVELY HARD MORTAR SHRINKS, ALLOWING WATER INFILTRATION. THE MORTAR USED FOR REPOINTING SHOULD BE SLIGHTLY LESS HARD AND DENSE THAN THE BRICK OR STONE SO THAT THE JOINTS PROVIDE AREAS WHERE THE WALL CAN BREATHE AND MOISTURE CAN EVAPORATE. A DENSE MORTAR CAN ACCELERATE DETERIORATION OF THE MASONRY AND WILL GIVE A POOR BOND. IT ALSO WILL SHRINK WHEN IT DRIES, CAUSING HAIRLINE CRACKS BETWEEN IT AND THE MASONRY, AND IT MAY BREAK, TRAPPING MOISTURE WHICH WILL EXPAND ON FREEZING AND DISLODGE THE MORTAR. IT MAY ALSO STAIN THE MASONRY IF IT'S TOO RICH IN CEMENT.

NOTE:
THE WORK WILL TAKE PLACE WHEN THE EXTERIOR TEMPERATURE REMAINS A
CONSTANT 45 DEGREES F OR ABOVE FOR A 72-HOUR PERIOD FROM THE
COMMENCEMENT OF THE WORK

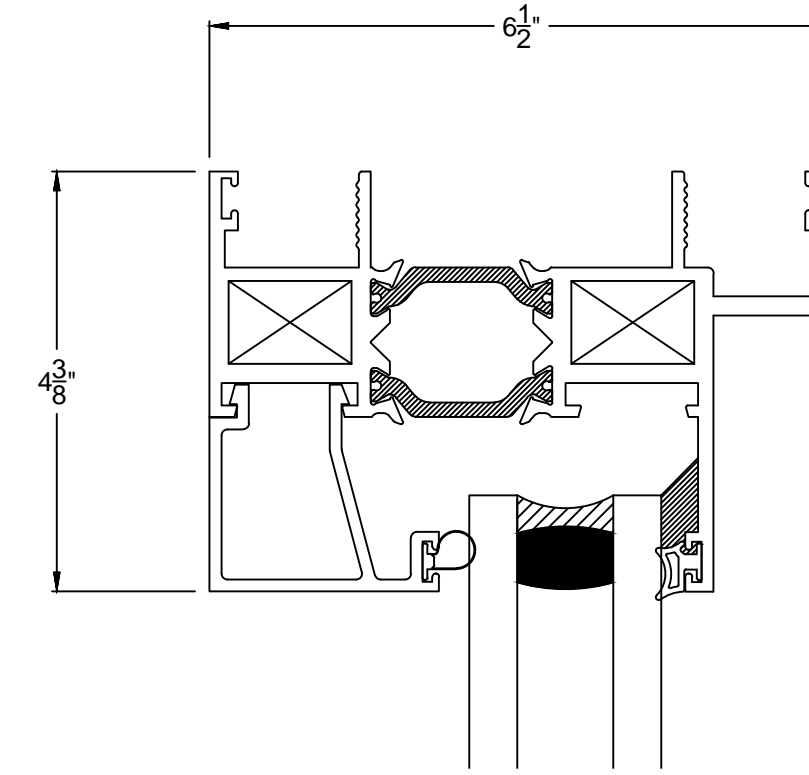
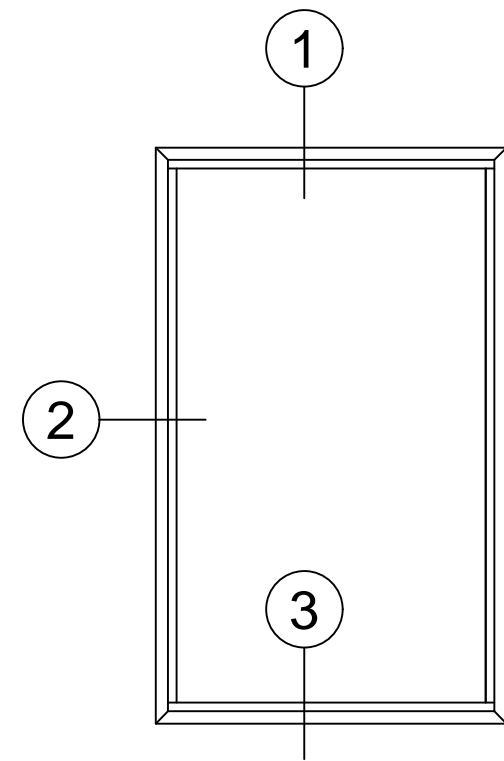


White Dove
OC-17

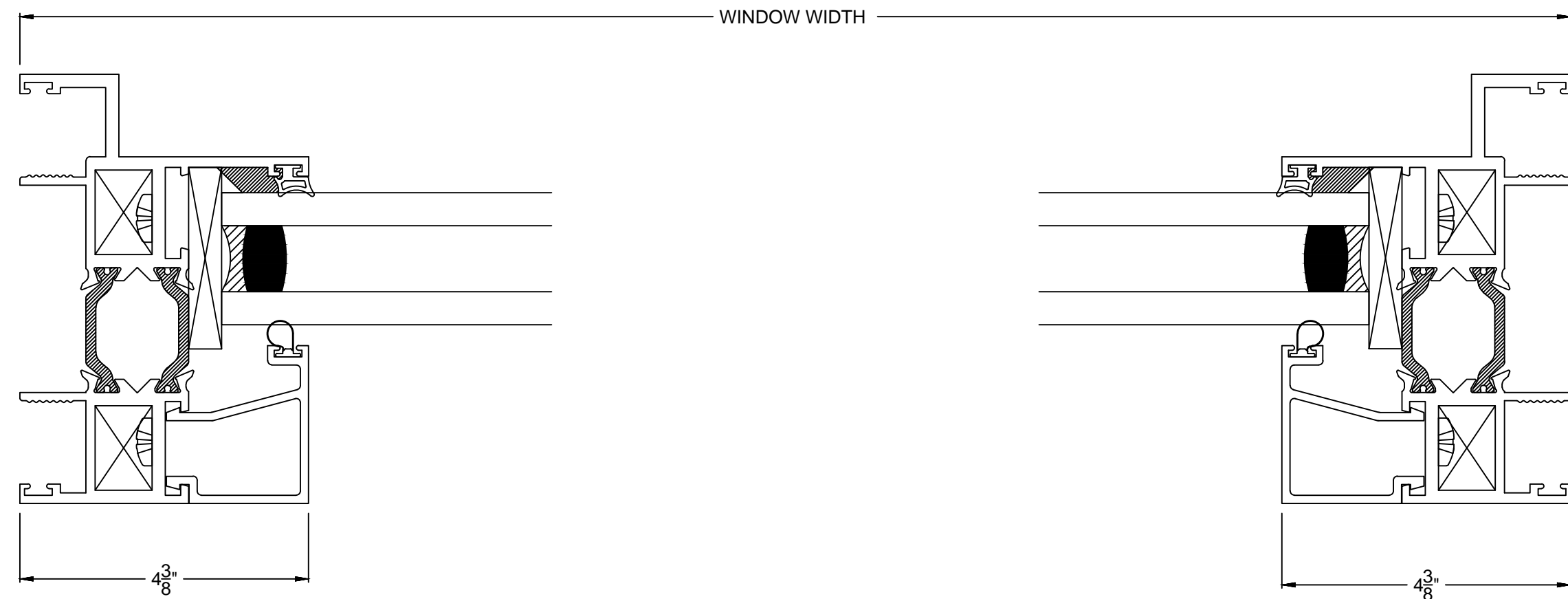
LPC-007.00	7 OF 15
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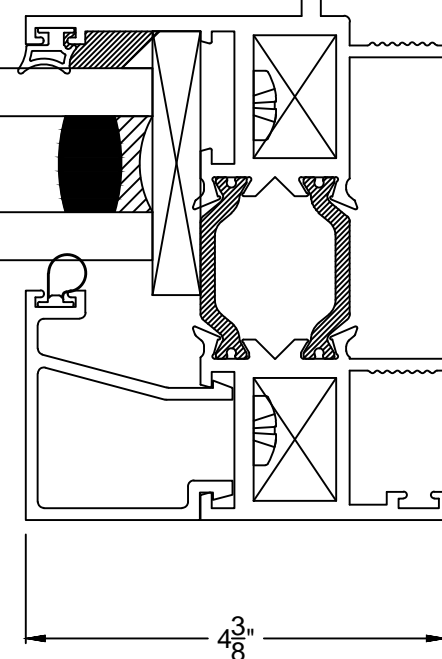
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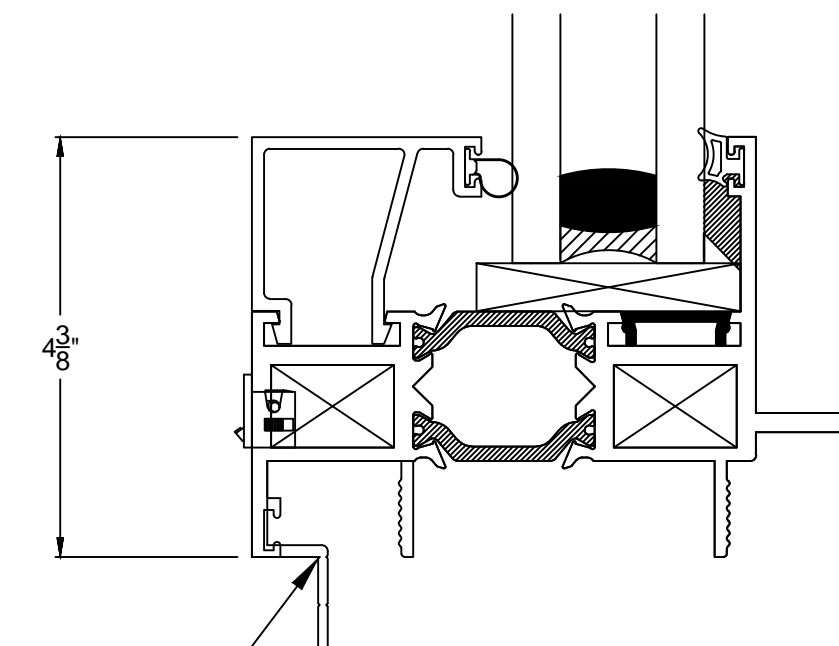
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2 FIXED JAMB



2 FIXED JAMB



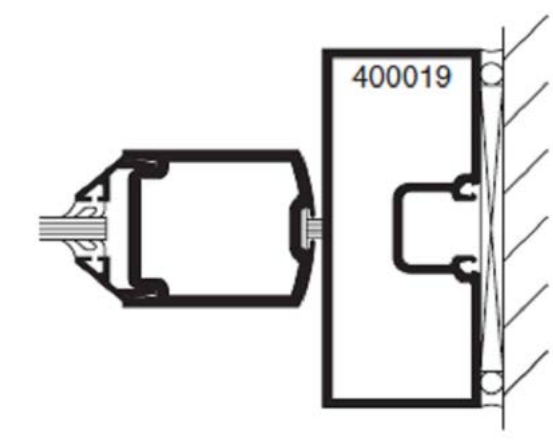
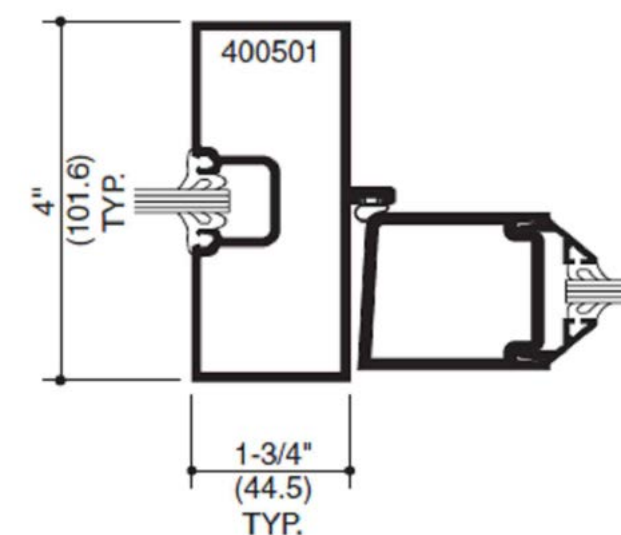
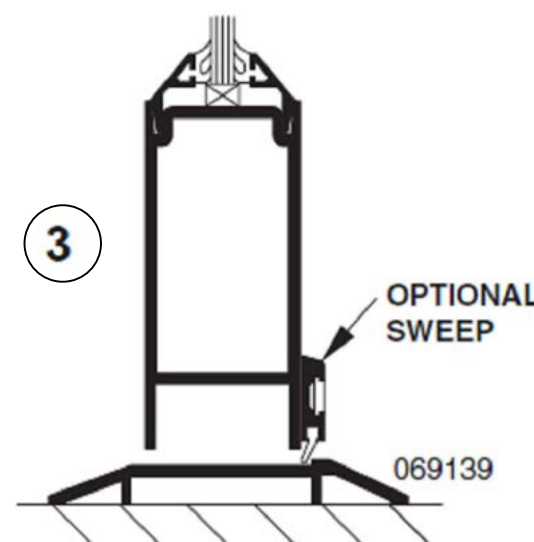
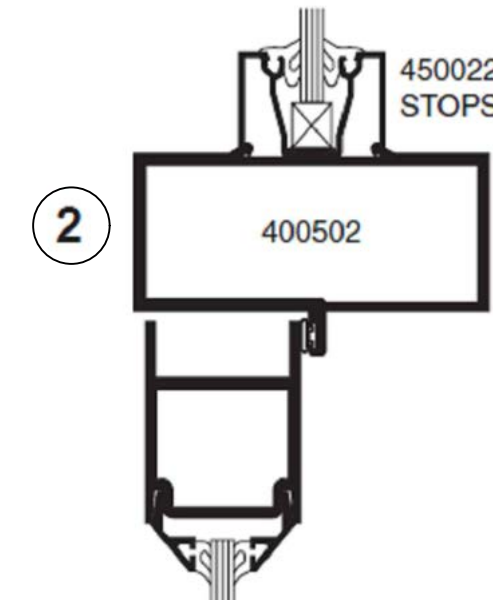
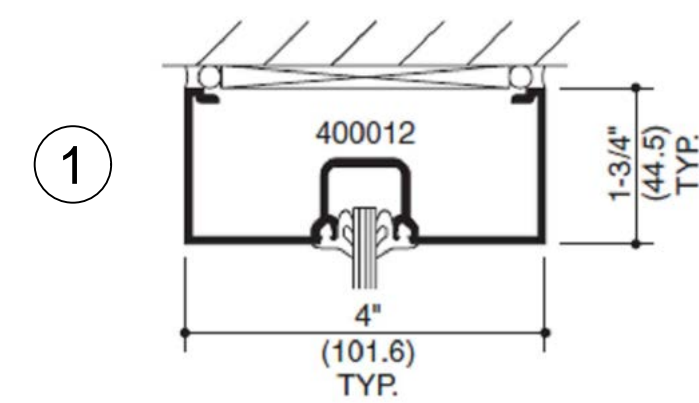
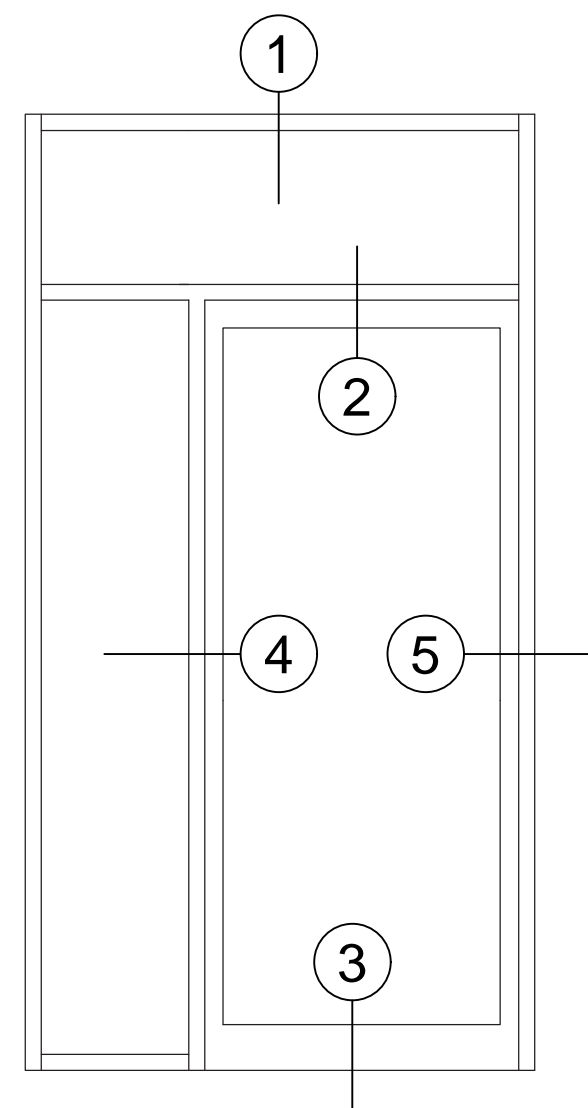
3 SILL FIXED

1 TYP.WINDOW SILL/HEAD/JAMB DETAILS
SCALE: NTS

NOTES:
GLASS TO BE TEMPERED
COLOR OF ALUMINUM FRAME - BLACK TO MATCH EXISTING



Name: Jet Black 2120-10 by Benjamin Moore
Finish: Matte



2 TYP.DOOR SILL/HEAD/JAMB DETAILS
SCALE: NTS

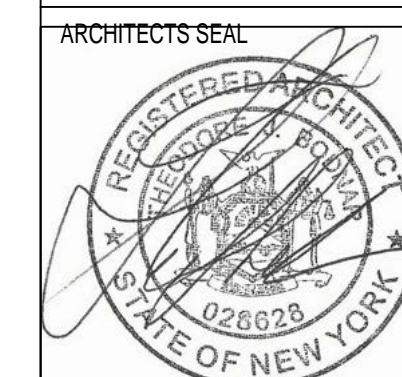
9-7-20		ISSUED TO CB8	OK
3-19-20		ISSUED TO LMC	OK
Date:	Rev. No.	Remarks:	By:

WINDOW AND DOOR DETAILS

LEX 73 HOLDINGS LLC

1022 LEXINGTON AVENUE
NEW YORK, NY 10021

BODNAR ARCHITECTURE P.C.
675 Madison Avenue Suite 3R, New York NY 10065
P. 212 921 4466 - F. 212 730 1246



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LPC-008.00

8 OF 15



PIC.1. CORNER OF LEXINGTON AVENUE & EAST 73 STREET



PIC.2. LEXINGTON AVENUE

9-7-20		ISSUED TO CB8	OK
Date:	Rev. No.	Remarks:	By:

PHOTOS
OF EXISTING FACADE
FROM LEXINGTON AVE

LEX 73 HOLDINGS LLC

1022 LEXINGTON AVENUE
NEW YORK, NY 10021

BODNAR ARCHITECTURE P.C.
675 Madison Avenue Suite 3R, New York NY 10065
P. 212 921 4466 - F. 212 730 1246

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	OK	TB	9/7/2020
Drawing No.	Page No.		

LPC-009.00 9 OF 15



BA



PIC.1. LEXINGTON AVENUE, SHOWING OTHER BUILDINGS ON A BLOCK (GOOGLE STREET VIEW)



PIC.2. LEXINGTON AVENUE, SHOWING OTHER BUILDINGS ON A BLOCK (PANORAMA VIEW)



PIC.3. 1012 LEXINGTON AVENUE



PIC.4. 1014 LEXINGTON AVENUE



PIC.5. 1016 LEXINGTON AVENUE

9-7-20		ISSUED TO CB8	OK
Date:	Rev. No.	Remarks:	By:
PHOTOS OF EXISTING BUILDINGS @ LEXINGTON AVE			
LEX 73 HOLDINGS LLC			
1022 LEXINGTON AVENUE NEW YORK, NY 10021			
BODNAR ARCHITECTURE P.C. 675 Madison Avenue Suite 3R, New York NY 10065 P. 212 921 4466 – F. 212 730 1246			
Scale:	Drawn by:	Checked by:	Date:
	OK	TB	9/7/2020
Drawing No.	Page No.		
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PIC.1. EAST 73 STREET
(GOOGLE STREET VIEW)



PIC.2. EAST 73 STREET



PIC.3. EAST 73 STREET



PIC.4. EAST 73 STREET

9-7-20		ISSUED TO CB8	OK
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PHOTOS
OF EXISTING FACADE
@ EAST 73 STREET

LEX 73 HOLDINGS LLC

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PIC.2



PIC.3

CRACK IN BRICK TO BE CLEANED OUT AND REPAIRED



PIC.4

EXIST.WINDOW SILL TO BE REPAIRED AND PAINTED (BLACK MATTE COLOR TO MATCH EXISTING)
CRACKS IN BRICK UNDER WINDOW SILL TO BE CLEANED OUT AND REPAIRED. REPOINT BRICK JOINTS

HATCHED AREA: NEW BRICK, WINDOWS AND DOORS TO BE INSTALLED AS PER PROPOSED ELEVATIONS @ LM-006, LM-007 SHEETS



PIC.5



PIC.1. EAST 73 STREET



PIC.6



PIC.7

EXIST. CORNICE TO BE REPAIRED AND REPAINTED (BLACK MATTE COLOR TO MATCH EXISTING)

MASONRY CLEANING TECHNIQUES

THE FOLLOWING CLEANING TECHNIQUES ARE GROUPED IN ORDER OF HARSHNESS, WITH THE GENTLE METHODS FIRST:

- LOW-PRESSURE WATER WASH THAT DOES NOT EXCEED 500 PSI WITH BRISTLE (NOT METAL) BRUSH;
- WATER SHEETING, WHICH SOAKS THE FAÇADE WITH WATER OVER A PERIOD OF ABOUT A WEEK (THIS METHOD CAN CAUSE WATER TO INFILTRATE THE FAÇADE, CAUSING DAMAGE TO THE INTERIOR OF A BUILDING);
- CHEMICAL OR DETERGENT CLEANING AND A LOW-PRESSURE WATER WASH THAT DOES NOT EXCEED 500 PSI (ACID CLEANERS CAN DISSOLVE CERTAIN TYPES OF STONE AND MORTAR OR CAUSE STAINING AS A RESULT OF CHEMICAL REACTIONS);
- APPLICATION OF A CHEMICAL POULTICE, ESPECIALLY FOR STAINING PROBLEMS RATHER THAN SUPERFICIAL DIRT.

THE FOLLOWING METHODS OF MASONRY CLEANING ARE NOT ALLOWED:

- HIGH-PRESSURE WATER WASHES ABOVE 500-600 PSI. THIS METHOD CAN CAUSE WATER INFILTRATION AND THE WATER ITSELF CAN ACT AS AN ABRASIVE, DISLODGING OLD SOFT MORTAR, DAMAGING STONE AND BRICK BY PITTING THE SURFACE, REMOVING THE OUTER CRUST OF THE STONE OR BRICK, AND BREAKING CARVED DETAILS;
- ABRASIVE CLEANING METHODS, INCLUDING SANDBLASTING OR THE USE OF ANY TYPE OF ABRASIVE GRIT, AS WELL AS THE USE OF THESE ABRASIVES MIXED WITH WATER.

RE-POINTING OF EXISTING MASONRY JOINTS PER LANDMARKS SPECIFICATIONS TO ENSURE WATER TIGHTNESS

EXIST. A/C UNITS TO BE REMOVED.
INFILL OPENINGS WITH BRICK TO MATCH EXISTING

EXIST. BLACK PAINT AND LETTERING TO BE REMOVED. PREPARE BRICK TO RECEIVE NEW PAINT

NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
REPOINTING OF JOINTS BETWEEN STONES AND BRICKS
A PROBLEM TO BE ANTICIPATED IN ANY MASONRY STRUCTURE IS THE EVENTUAL DETERIORATION OF THE MORTAR IN THE JOINTS BETWEEN THE STONES AND BRICKS. IN ORDER TO RETAIN THE STONES OR BRICKS IN PLACE AND TO PREVENT WATER INFILTRATION, MISSING MORTAR SHOULD BE REPLACED. THE TERM FOR THIS REPLACEMENT IS "REPOINTING" OR "TUCKPOINTING." REPOINTING IS THE PROCESS OF REMOVING DETERIORATED MORTAR FROM THE JOINTS OF A MASONRY WALL AND REPLACING IT WITH NEW MORTAR. A WALL'S MORTAR BINDS TOGETHER THE INDIVIDUAL MASONRY ELEMENTS AND CREATES A WATERTIGHT SEAL AT THE JOINTS BETWEEN THE INDIVIDUAL MASONRY ELEMENTS. WHEN PROPERLY EXECUTED, REPOINTING RESTORES BOTH THE PHYSICAL AND VISUAL INTEGRITY OF THE MASONRY

THE MAIN CAUSES OF MORTAR DETERIORATION ARE WEATHERING AND EROSION DUE TO WIND AND RAIN. ALTHOUGH MORTAR JOINTS ARE NOT PERMANENT, A GOOD POINTING JOB SHOULD LAST 50 TO 100 YEARS. DAMAGED OR MISSING MORTAR CAN ALLOW MOISTURE TO PENETRATE INTO THE BUILDING AND CAUSE SEVERE DETERIORATION TO THE MASONRY, INTERIOR WALLS AND OTHER PARTS OF THE BUILDING. REPOINTING, IF NOT EXECUTED PROPERLY, CAN BE DISASTROUS TO A BUILDING'S FUNCTION AND APPEARANCE. A BAD REPOINTING JOB CAN RUIN THE NEAT, EVEN APPEARANCE OF A MASONRY WALL AND CAUSE POOR BONDING BETWEEN THE MORTAR AND THE MASONRY. POOR BONDING OCCURS BECAUSE THE MORTAR IS NOT PROPERLY MIXED, THE JOINTS ARE NOT CLEANED OUT EFFECTIVELY OR AN EXCESSIVELY HARD MORTAR SHRINKS, ALLOWING WATER INFILTRATION. THE MORTAR USED FOR REPOINTING SHOULD BE SLIGHTLY LESS HARD AND DENSE THAN THE BRICK OR STONE SO THAT THE JOINTS PROVIDE AREAS WHERE THE WALL CAN BREATHE AND MOISTURE CAN EVAPORATE. A DENSE MORTAR CAN ACCELERATE DETERIORATION OF THE MASONRY AND WILL GIVE A POOR BOND. IT ALSO WILL SHRINK WHEN IT DRIES, CAUSING HAIRLINE CRACKS BETWEEN IT AND THE MASONRY, AND IT MAY BREAK, TRAPPING MOISTURE WHICH WILL EXPAND ON FREEZING AND DISLODGE THE MORTAR. IT MAY ALSO STAIN THE MASONRY IF IT'S TOO RICH IN CEMENT.

NOTE:
THE WORK WILL TAKE PLACE WHEN THE EXTERIOR TEMPERATURE REMAINS A CONSTANT 45 DEGREES F OR ABOVE FOR A 72-HOUR PERIOD FROM THE COMMENCEMENT OF THE WORK

9-7-20	2	ISSUED TO CB8	OK
5-6-20	1	REV. AS PER LMC COMMENTS	OK
3-24-20		ISSUED TO LMC	OK
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CLOSE UP PHOTOS OF EXISTING FACADE

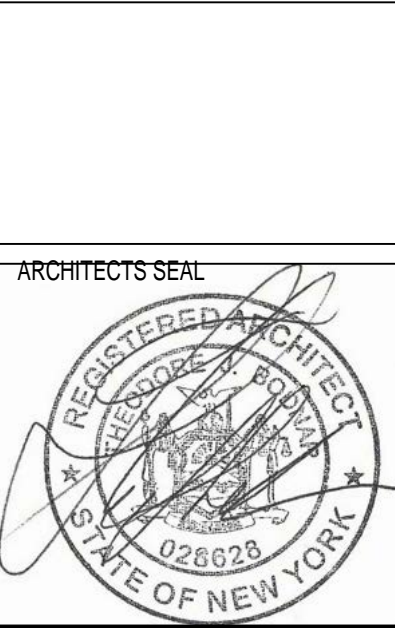
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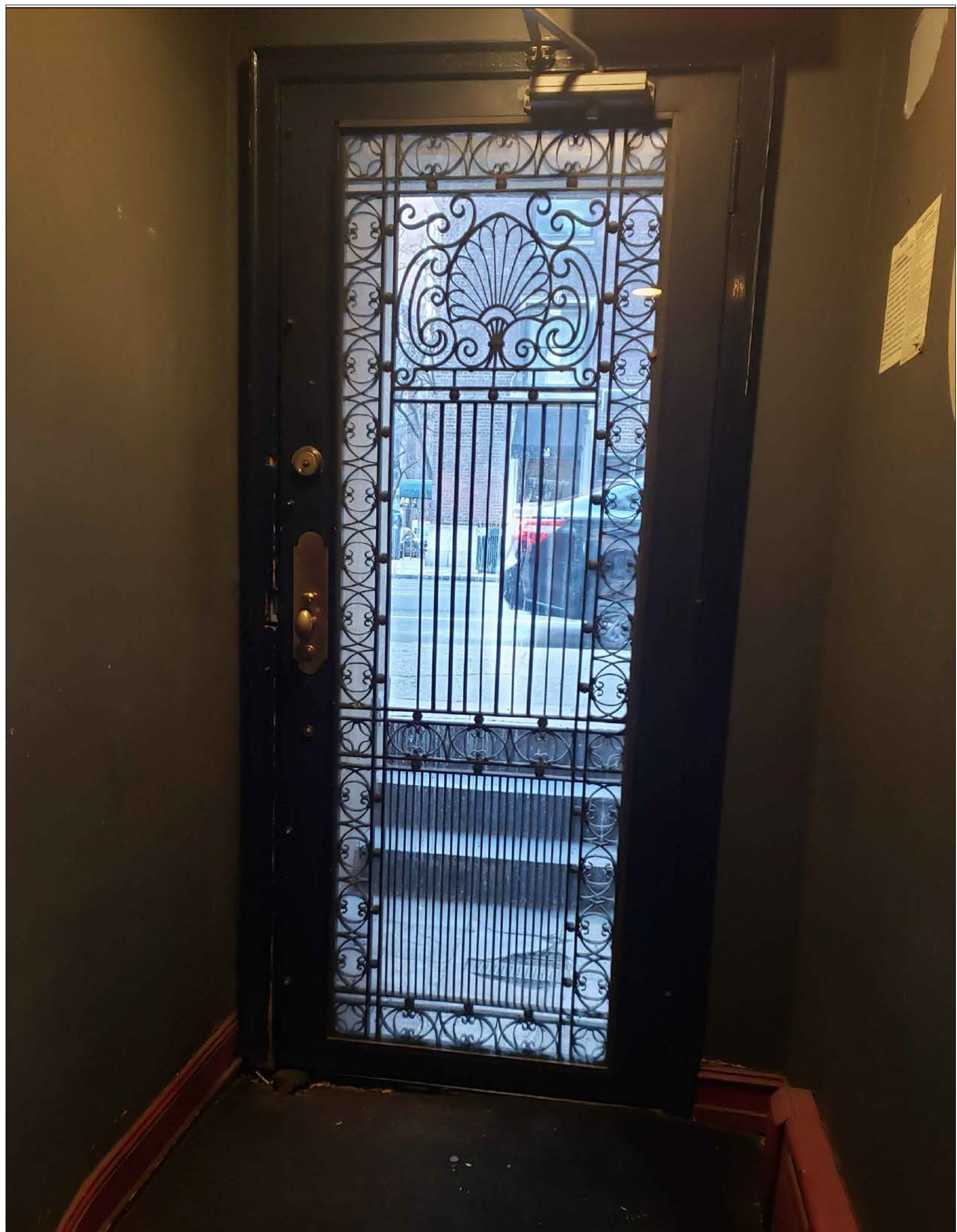
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PIC.1. EXIST.FACADE
(LEXINGTON AVENUE)



PIC.2. CLOSE-UP PICTURE OF EXIST. DOOR
(LEXINGTON AVENUE)



PIC.3. CLOSE-UP PICTURE OF EXIST. DOOR
FROM INSIDE (LEXINGTON AVENUE)



PIC.4. CLOSE-UP PICTURE OF EXIST. GROUND FLOOR
WINDOWS (LEXINGTON AVENUE)



PIC.5. CLOSE-UP PICTURE OF EXIST. 1ST FLOOR WINDOWS
(LEXINGTON AVENUE)

9-7-20		ISSUED TO CB8	OK
4-28-20		ISSUED TO LMC	OK
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CLOSE UP PHOTOS
OF EXISTING FACADE
(LEXINGTON AVENUE)

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NEW YORK, NY 10021

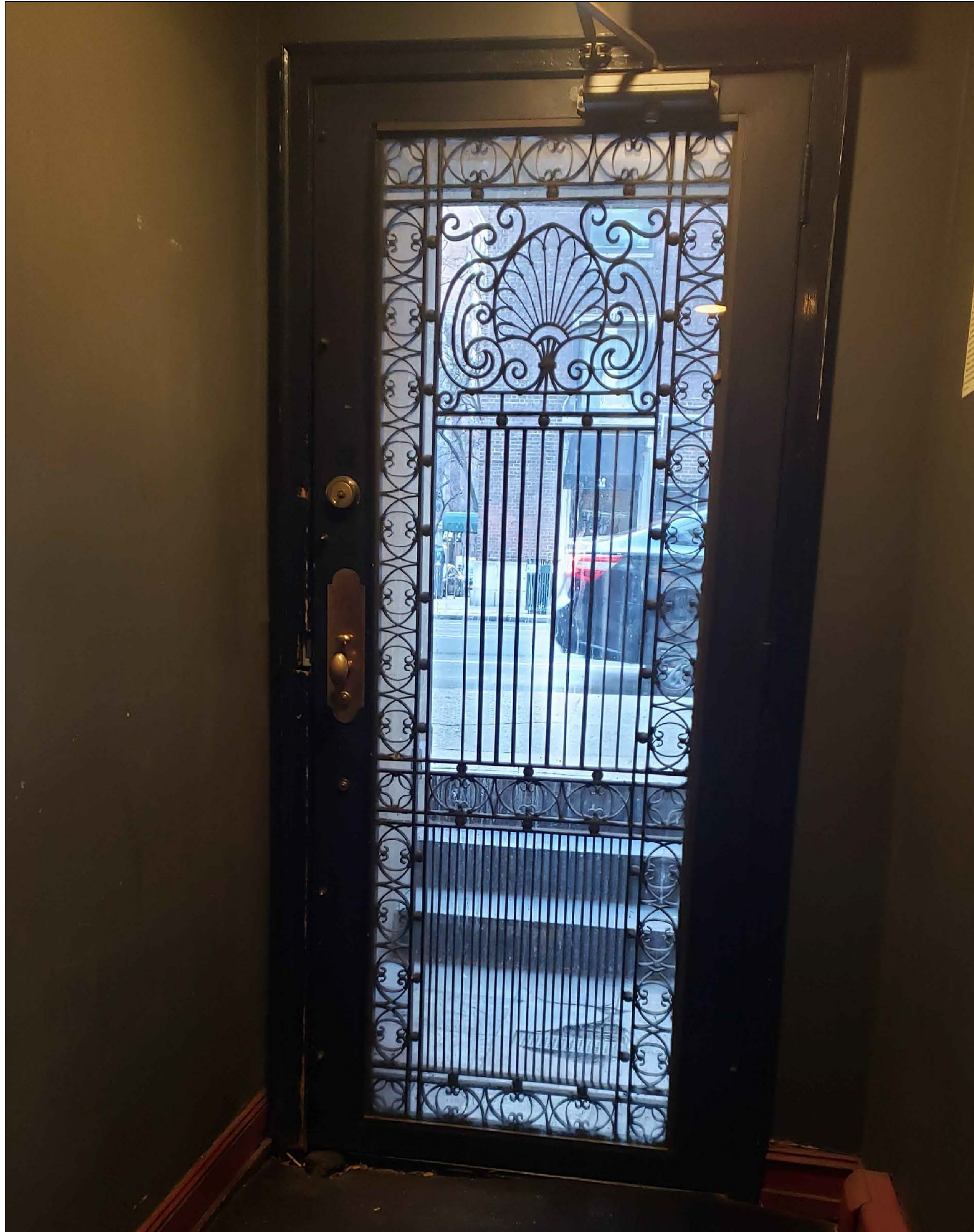
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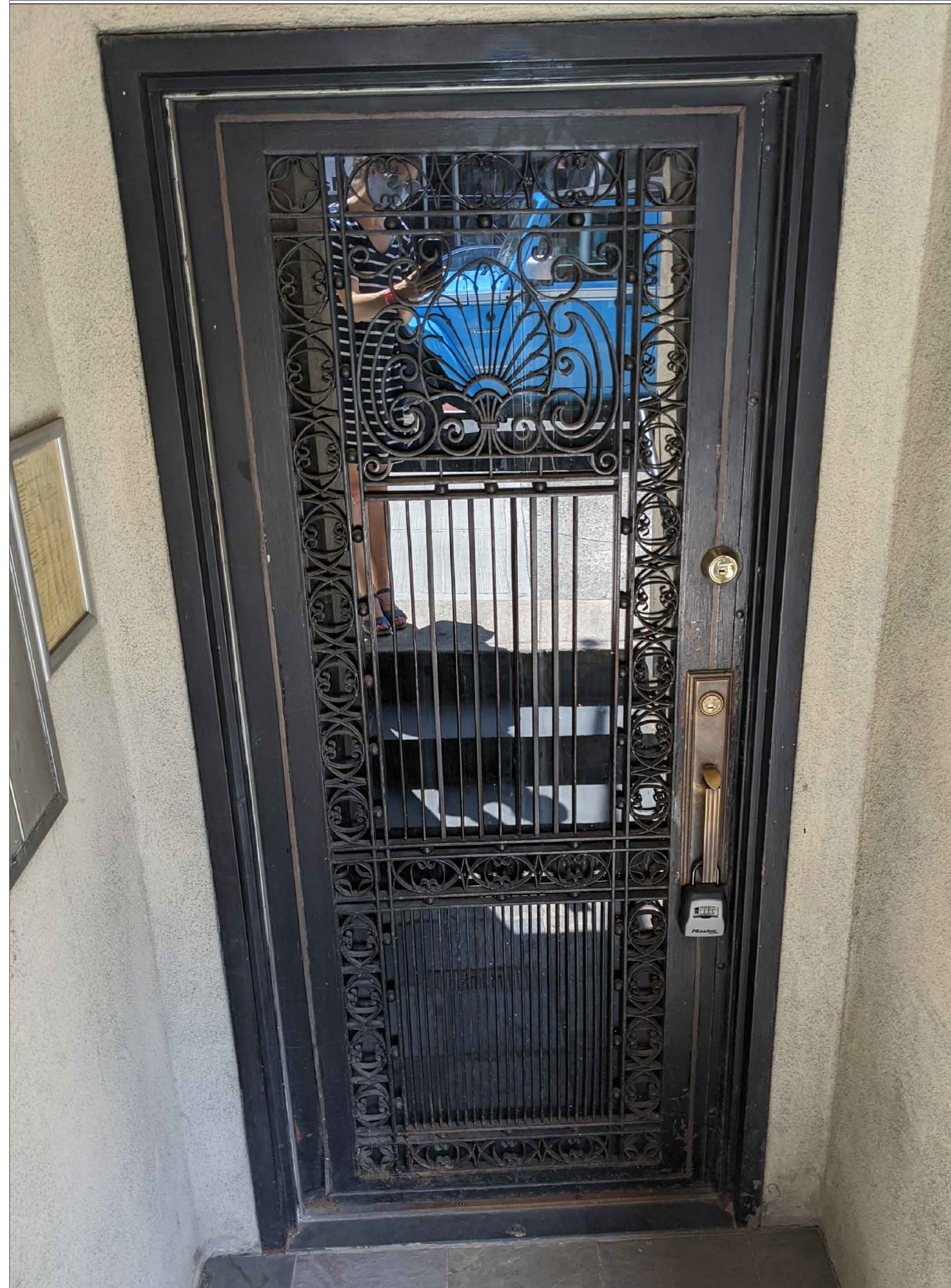
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PIC.1. CLOSE-UP PICTURE OF EXIST. DOOR
FROM INSIDE (LEXINGTON AVENUE)



PIC.2. CLOSE-UP PICTURE OF EXIST. DOOR
FROM OUTSIDE (LEXINGTON AVENUE)

9-7-20		ISSUED TO CB8	OK
8-14-20		ISSUED TO LMC	OK
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PHOTOS OF EXISTING
ENTRY DOOR
@ LEXINGTON AVE

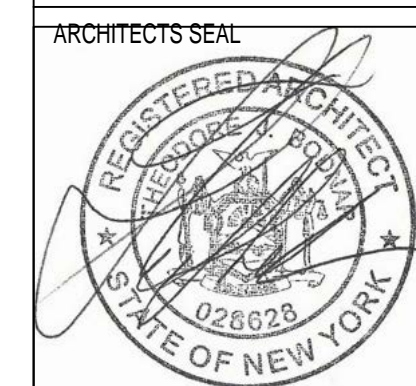
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PIC.1. MADISON AVENUE & EAST 78 STREET (GOOGLE STREET VIEW)
SHOWING CORNER BUILDINGS WITH ENTRIES FROM STREET



PIC.2. 28 EAST 78 STREET. ENTRY FROM STREET



PIC.3. 25 EAST 78 STREET. ENTRY FROM STREET

9-7-20		ISSUED TO CB8	OK
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PHOTOS OF EXISTING
CORNER BUILDINGS
WITH ENTRIES FROM
STREET

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