

**1 PLOT PLAN**  
SCALE: 1/16" = 1'-0"



**THE ENTIRE BUILDING IS OCCUPIED**

**ZONING INFORMATION**

ADDRESS: 220 EAST 61ST STREET, NEW YORK, NY 10065  
 ZONING MAP: 8C  
 BLOCK: 1415  
 LOT: 39  
 ZONING DISTRICT: R8B  
 EXISTING LAND USE: 1 & 2 FAMILY BUILDING  
 LOT AREA: 2,008 SF  
 LANDMARK: LOCATED WITHIN THE TREADWELL FARM HISTORIC DISTRICT

**PRIVATE RESIDENCE**

220 EAST 61ST STREET, NEW YORK, NY 10065

**DRAWING LIST**

- LPC-01 HISTORIC DOCUMENTATION AND REFERENCE MATERIAL
- LPC-02 DEPARTMENT OF BUILDING DRAWINGS AND NYC LANDMARKS PRESERVATION COMMISSION APPROVED ROOF PLAN
- LPC-03 DEPARTMENT OF BUILDING DRAWINGS AND NYC LANDMARKS PRESERVATION COMMISSION APPROVED FRONT AND REAR ELEVATIONS
- LPC-04 DEPARTMENT OF BUILDING DRAWINGS AND NYC LANDMARKS PRESERVATION COMMISSION APPROVED SIDE ELEVATIONS
- LPC-05 DEPARTMENT OF BUILDING DRAWINGS AND NYC LANDMARKS PRESERVATION COMMISSION APPROVED SECTION
- LPC-06 DEPARTMENT OF BUILDING DRAWINGS AND NYC LANDMARKS PRESERVATION COMMISSION APPROVED ROOFTOP ADDITION ELEVATIONS
- LPC-07 BEFORE AND AFTER PHOTOGRAPHS OF REAR FACADE
- LPC-08 PRE-CONSTRUCTION AND AS-BUILT DRAWING OF REAR ELEVATION
- LPC-09 AS-BUILT CONDITION AT TERRACE AND REAR FACADE ROOF TOP ADDITION WITH CONSTRUCTION PHOTOGRAPHS
- LPC-10 EXISTING REAR FACADE CONDITIONS ANALYSIS FOR THE SOUTH SIDE OF EAST 61ST STREET BETWEEN 3RD AVENUE AND 2ND AVENUE
- LPC-11 EXISTING REAR FACADE CONDITIONS ANALYSIS FOR THE SOUTH SIDE OF EAST 61ST STREET BETWEEN 3RD AVENUE AND 2ND AVENUE



**PHOTOGRAPH OF 220 EAST 61ST STREET NORTH (FRONT) FACADE**

**220 EAST 61ST STREET**  
NEW YORK, NEW YORK 10065

**NEW YORK CITY LANDMARKS  
PRESERVATION COMMISSION**

Architect  
**PAGE AYRES COWLEY ARCHITECTURE**  
10 East 33rd Street 7th Floor  
New York, NY 10016  
(212)673-6910

**COVER SHEET**

DRAWING TITLE

DRAWN BY:	EF	SCALE:	AS NOTED
CHECKED BY:	PAC	PROJ. NO.	441
DATE:			

**LPC-00**

DRAWING NO.



East Sixty-First Street - South Side - From Third to Second Avenue

206, 208, 210 East 61st Street

All are four story plus basement. Numbers 206 and 210 have stoops. Numbers 208 and 210 have retained the original detail including fine columned porticos. Numbers 206 and 210 are painted. These houses display the influence of the French Second Empire style of architecture. Number 206 is a fine town house which remains much the same as when built. It has a handsome arched front door approached by a high stoop with round-arched window alongside. It retains its handsome window frames and roof cornice with paired brackets.

212, 214, 216 East 61st Street

Built in 1871-2 for Breen & Nason, builders, at estimated cost of \$10,000 each; architects Breen and Nason. All are three story plus basement. Number 214 has a stoop. All have been remodeled, and 212 has been painted.

218, 220, 222, 224, 226 East 61st Street

Built in 1871 for J. & G. Ruddell, builders, at estimated cost of \$16,000 each; architect F. S. Barns. All are three story plus basement without stoops. All have been remodeled. Numbers 222 and 224 are painted. Number 224 is an example of an attractive late Anglo-Italianate style house. It has a basement entrance a few steps below sidewalk level and segmental-arched windows. This fine house retains its handsome, original bracketed and paneled roof cornice and its stone window frames which have been simplified, omitting their moldings and cornices. The once-rusticated basement has been smooth-stuccoed and has had a stone wall erected at the areaway and flanking the steps with urns on each side.

228, 230, 232, 234, 236 East 61st Street

Built in 1873 for Ruttle and Booth at estimated cost of \$14,000 each; architect F. S. Barns. Numbers 228, 234 and 236 are three story plus basement. 230 and 232 are four story plus basement. The stoops remain on numbers 228 and 236. 234 retains the original moldings above the basement. 230, 232, 234 and 236 are all painted. Number 230 is an interesting and attractive house. The former front door, at first floor level, opens on a wrought-iron balcony above the projected vestibule which serves the front door at basement level. The front is smooth-stuccoed, and the windows are severely simple without frames except that those of the fourth floor are adorned with blind arches above which a parapet, with simple coping, crowns the house. The basement windows retain their handsome, original wrought-iron grilles.

238 and 240 East 61st Street

Built in 1868-9 for R. Morison and L. Mabie at estimated cost of \$16,000 each; architect John Sexton. Both are three story plus basement. 240 has retained the stoop.

242 - 250 East 61st Street

Built in 1930 for the First Swedish Baptist Church; architect Martin Hedmark. An interesting brick facade characteristic of the time of its construction. This symmetrical Church reflects, in its design, current trends of Scandinavian architecture and a most expressive use of brickwork with stone trim kept to a minimum. A high, stepped, central portion reminiscent of the monastic bell wall dominates the composition. The front door in this central portion has a three centered arch and is flanked by two small arched doors. Above it is an elliptical opening interrupted at its bottom by a triple brick keystone. On either side of the center portion rise blocklike towers with metal cupolas. The most interesting feature of this Church is the gradation of its brickwork from dark at the bottom to a light shade at the top.

East Sixty-Second Street - North Side - From Third to Second Avenue.



1940 NYC TAX PHOTO



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NEW YORK, NY 10065

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Structural Engineer:  
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175 Varick Street, 8th Floor  
New York, NY 10014  
T. 212.634.7886

**REQUIREMENTS**

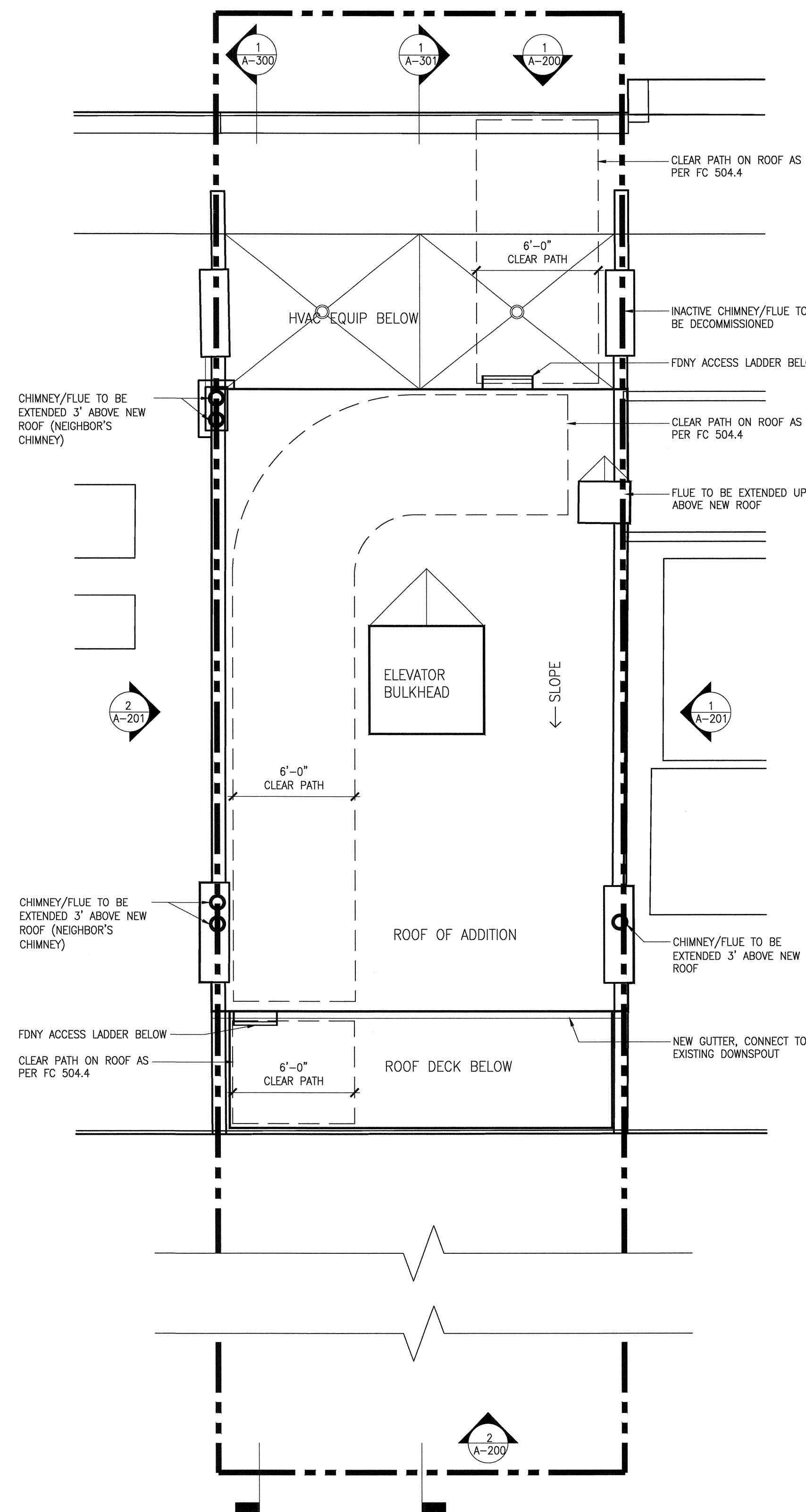
ZONING SECTION NO.	SECTION NAME	PERMITTED / REQUIRED	NOTES
ART. II, 23-62	PERMITTED OBSTRUCTIONS ON ROOF	IN ALL #RESIDENCE DISTRICTS#, EXCEPT AS PROVIDED IN SECTION 23-621 (PERMITTED OBSTRUCTIONS IN CERTAIN DISTRICTS), THE OBSTRUCTIONS LISTED IN PARAGRAPHS (A) THROUGH (R) IN THIS SECTION SHALL BE PERMITTED TO PENETRATE A MAXIMUM HEIGHT LIMIT OR #SKY EXPOSURE PLANE# SET FORTH IN SECTIONS 23-63 (HEIGHT AND SETBACK REQUIREMENTS IN R1 THROUGH R5 DISTRICTS), 23-64 (BASIC HEIGHT AND SETBACK REQUIREMENTS), 23-66 (HEIGHT AND SETBACK REQUIREMENTS FOR QUALITY HOUSING BUILDINGS) OR 23-69 (SPECIAL HEIGHT LIMITATIONS);	NO PART OF THIS APPLICATION, INCLUDING THE ELEVATOR BULKHEAD, CHIMNEYS AND CONDENSERS, PENETRATES A MAXIMUM HEIGHT LIMIT OR SKY EXPOSURE PLANE.
ART. II, 23-62 (D)	PERMITTED OBSTRUCTIONS ON ROOF - CHIMNEYS OR FLUES	CHIMNEYS OR FLUES, WITH A TOTAL WIDTH NOT EXCEEDING 10 PERCENT OF THE "AGGREGATE WIDTH OF STREET WALLS" OF A "BUILDING" AT ANY LEVEL;	CHIMNEY DOES NOT PENETRATE MAXIMUM HEIGHT LIMIT OR SKY EXPOSURE PLANE.

**GENERAL CONSTRUCTION NOTES**

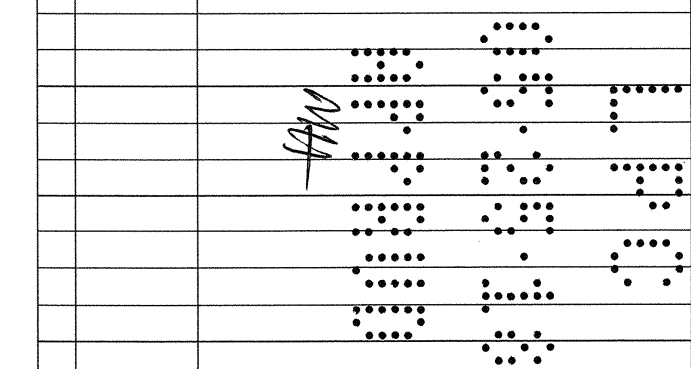
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- SEE SHEET A-601.00 FOR WALL TYPES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING AND PROPOSED, PRIOR TO THE COMMENCEMENT OF WORK AS INDICATED IN THE CONTRACT DOCUMENTS. VERIFY THE LOCATIONS OF ALL EXISTING STAIR LANDINGS, EXISTING RAILINGS, EXISTING SHAFT WALL ASSEMBLIES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BENCHMARKS AND LAYING OUT ALL NEW WORK, INCLUDING BUT NOT LIMITED TO: ALL NEW OPENINGS IN EXISTING WALLS, NEW FLOOR SLABS, AND NEW FLOOR FRAMING. ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS & THOSE INDICATED ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT OF RECORD. THE CONTRACTOR SHALL MAKE NO DETERMINATION AS TO WHICH DIMENSIONS SHALL GOVERN WITHOUT RECEIVING WRITTEN INSTRUCTION FROM THE ARCHITECT OF RECORD.
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- IF MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB THEM, BUT NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY.
- FOR THE CONSTRUCTION OF MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS, REFER TO THE CONSTRUCTION SECTIONS IN THE DRAWINGS FOR THOSE RESPECTIVE DISCIPLINES.
- PASSENGER ELEVATOR, MANUFACTURER: CUSTOM ELEVATOR, MODEL: IL-11-750
- THERE IS NO SITE WORK AS A PORTION OF THIS CONTRACT.
- CONTRACTOR TO VERIFY EXISTING CONDITION OF FIREPLACES AND ALL RELATED FLUE/CHIMNEY
- SEE SHEET A-600 FOR ROOF DETAILS AND SPECIFICATIONS
- SEE SHEET A-601 FOR DOOR & WINDOW SCHEDULE
- SEE SHEET A-601 FOR SANITARY RISER DIAGRAM

**KEY**

- EXISTING WALL
- NEW WALL CONSTRUCTION, SEE DETAILS AND WALL TYPES LEGEND FOR ADDITIONAL INFORMATION
- WINDOW NUMBER, SEE WINDOW SCHEDULE
- DOOR NUMBER, SEE DOOR SCHEDULE
- WALL TYPE, SEE DETAILS ON SHEET A-600
- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR



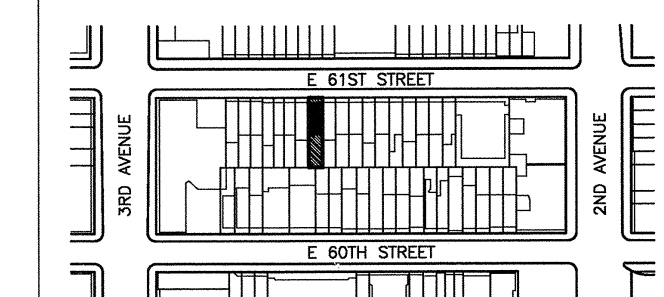
**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"



2018.03.09 ISSUED FOR DOB FILING

DATE REVISION DESCRIPTION

KEY PLAN



DRAWING TITLE:

**PROPOSED ROOF PLAN**

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

PROJECT NO.: 441.2  
SCALE: AS NOTED  
DRAWN BY: EF  
CHECKED BY: PC  
DATE: DECEMBER 2017

**A-101.00**

ARCHITECT'S SEAL



220 EAST 61ST STREET  
NEW YORK, NEW YORK 10065

NEW YORK CITY LANDMARKS  
PRESERVATION COMMISSION

Architect  
PAGE AYRES COWLEY ARCHITECTURE  
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(212)673-6910

DEPARTMENT OF BUILDINGS DRAWINGS  
NYC LANDMARKS PRESERVATION COMMISSION  
**APPROVED ROOF PLAN**  
DRAWING TITLE

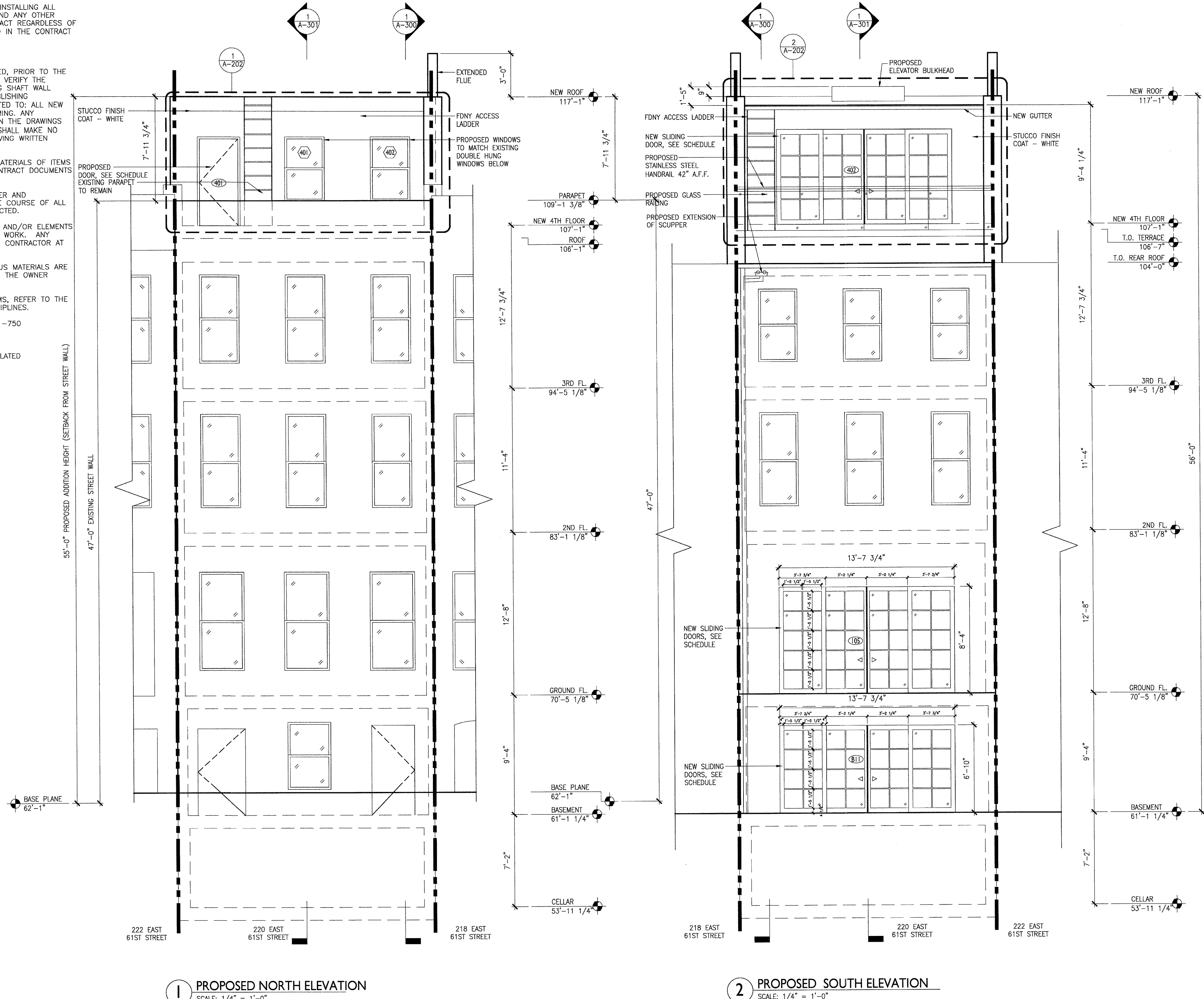
DRAWN BY: EF AS NOTED  
CHECKED BY: PAC PROJ. NO. 441  
DATE:

**LPC-02**

DRAWING NO.

**GENERAL CONSTRUCTION NOTES**

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- PASSENGER ELEVATOR, MANUFACTURER: CUSTOM ELEVATOR, MODEL: IL-11-750
- THERE IS NO SITE WORK AS A PORTION OF THIS CONTRACT.
- CONTRACTOR TO VERIFY EXISTING CONDITION OF FIREPLACES AND ALL RELATED FLUE/CHIMNEY
- SEE SHEET A-600 FOR ROOF DETAILS AND SPECIFICATIONS
- SEE SHEET A-601 FOR DOOR & WINDOW SCHEDULE
- SEE SHEET A-601 FOR SANITARY RISER DIAGRAM



**1 PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**2 PROPOSED SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**220 EAST 61 STREET  
NEW YORK, NY 10065**

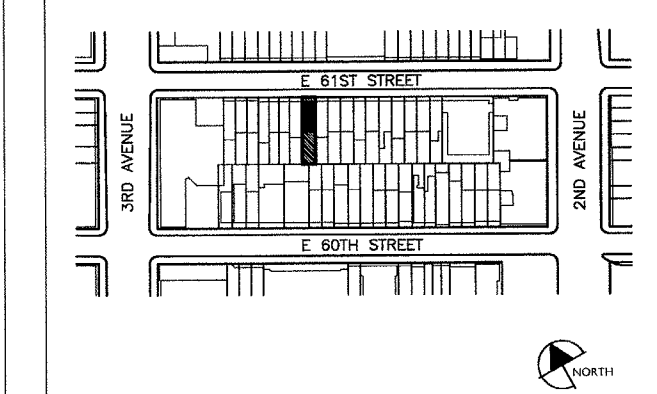
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2018.03.09 ISSUED FOR DOB FILING  
DATE REVISION DESCRIPTION

KEY PLAN



DRAWING TITLE:

**PROPOSED NORTH AND SOUTH ELEVATIONS**

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

	PROJECT NO.: 441.2
	SCALE: AS NOTED
	DRAWN BY: EF
	CHECKED BY: PC
DATE: DECEMBER 2017	
<b>A-200.00</b>	



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**NEW YORK CITY LANDMARKS  
PRESERVATION COMMISSION**

Architect  
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**DEPARTMENT OF BUILDINGS DRAWINGS  
NYC LANDMARKS PRESERVATION COMMISSION  
APPROVED ELEVATIONS**  
DRAWING TITLE

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PAC	441
DATE:	

**LPC-03**

DRAWING NO.



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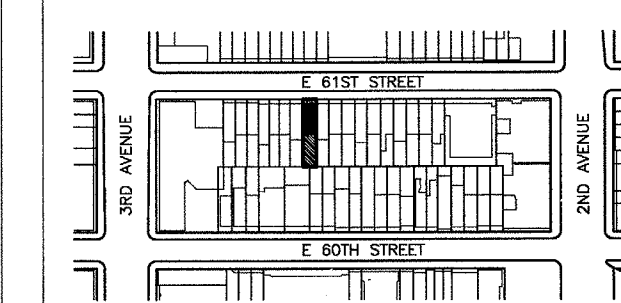
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DRAWING TITLE:

PROPOSED EAST AND  
WEST ELEVATIONS

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

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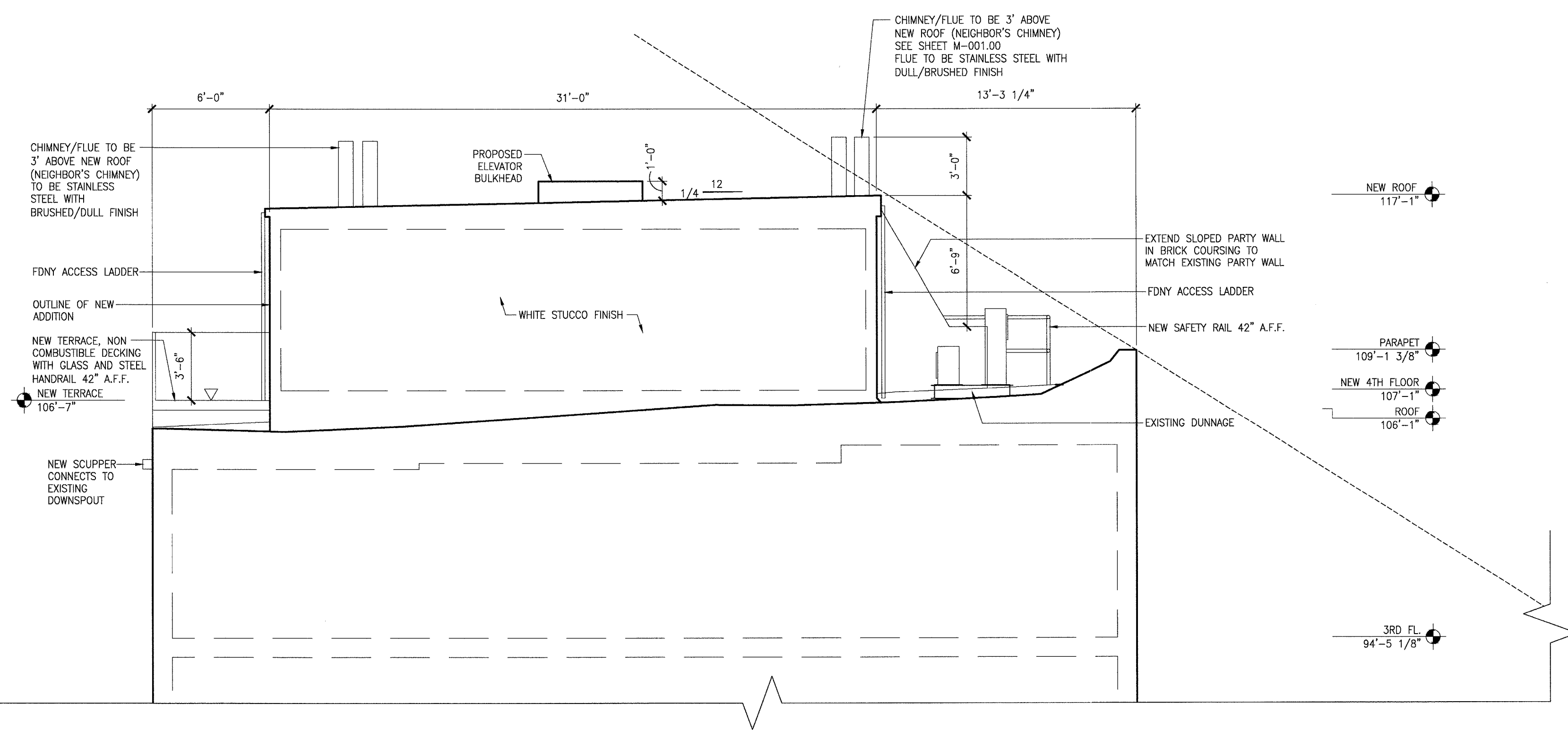
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LPC-04

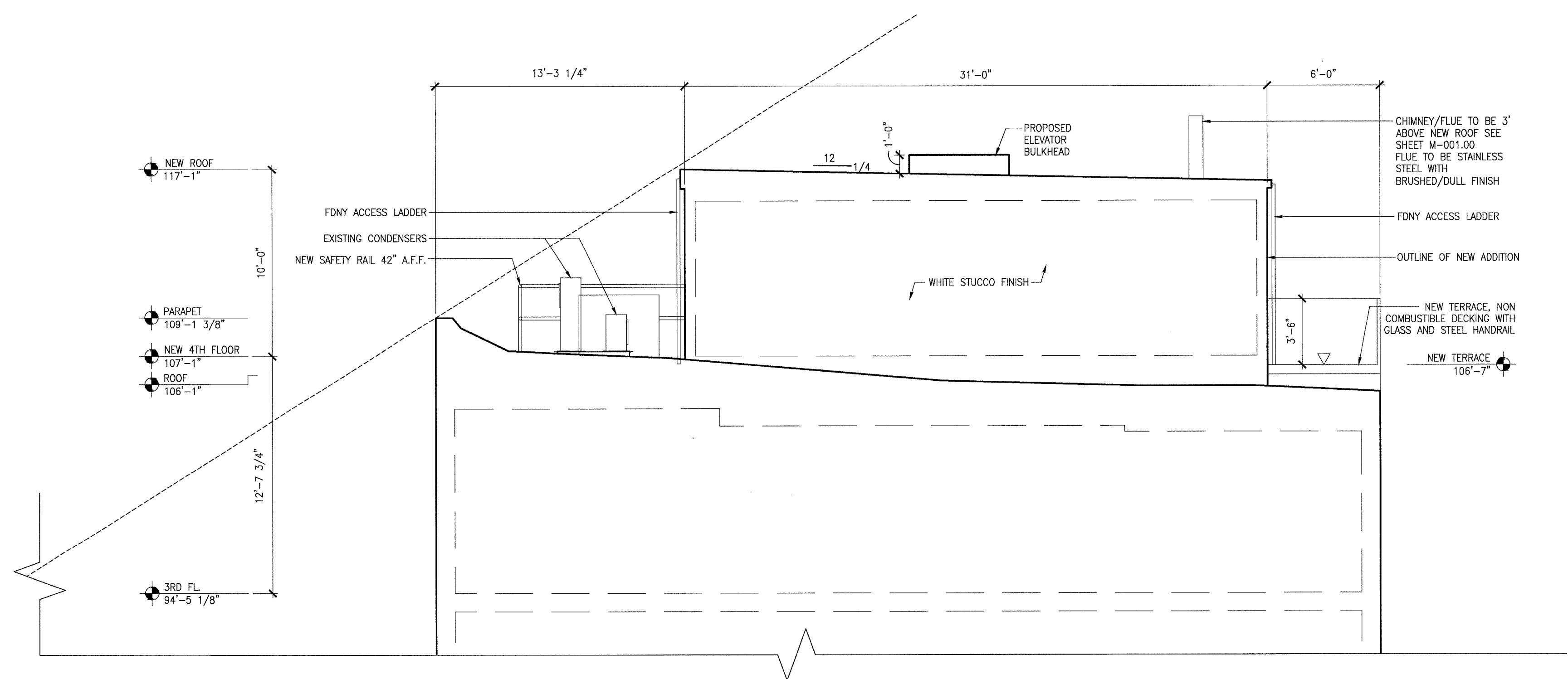
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- SEE SHEET A-600 FOR ROOF DETAILS AND SPECIFICATIONS
- SEE SHEET A-601 FOR DOOR & WINDOW SCHEDULE
- SEE SHEET A-601 FOR SANITARY RISER DIAGRAM



1 PROPOSED EAST ELEVATION  
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2 PROPOSED WEST ELEVATION  
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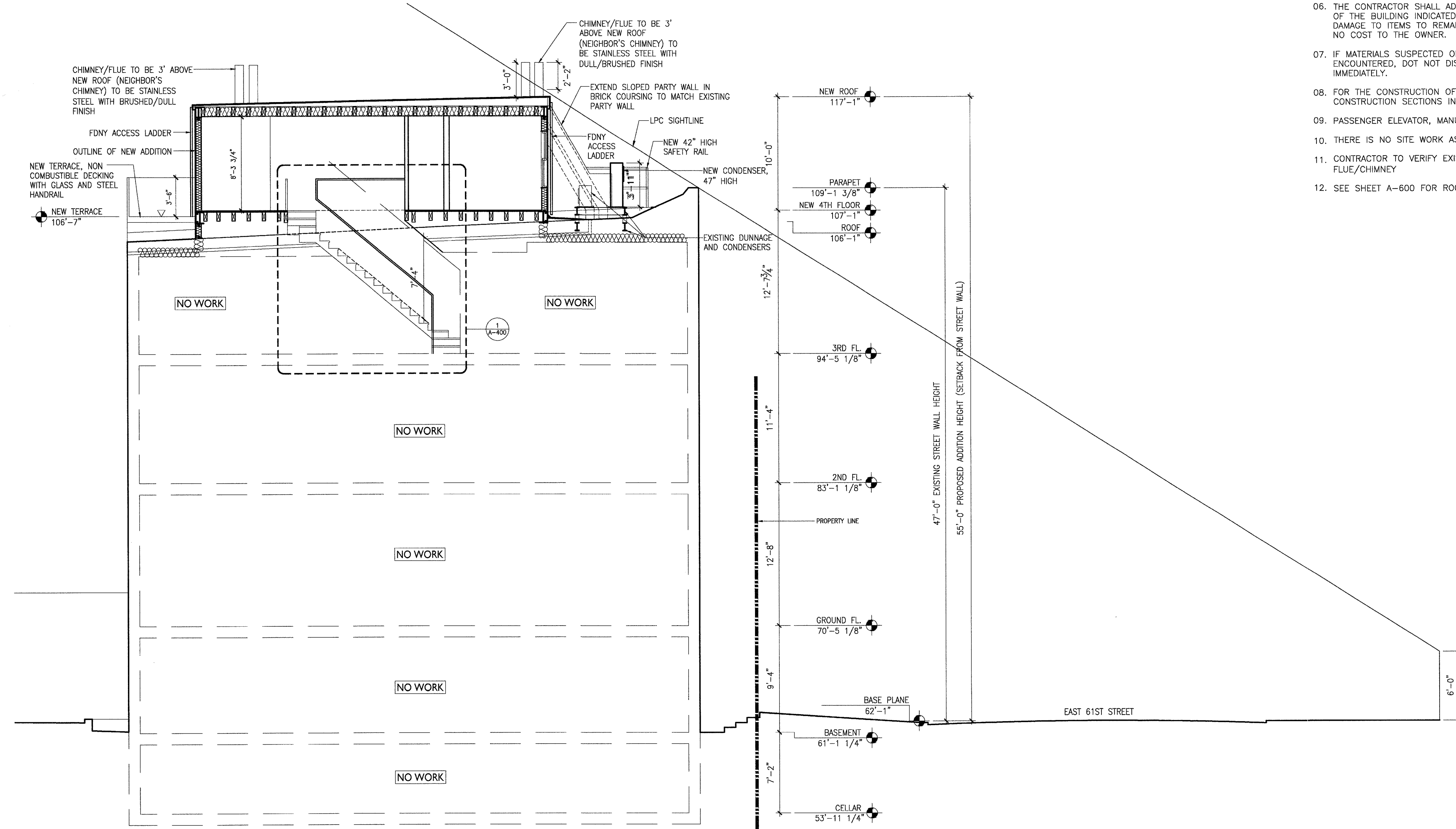
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**GENERAL CONSTRUCTION NOTES**

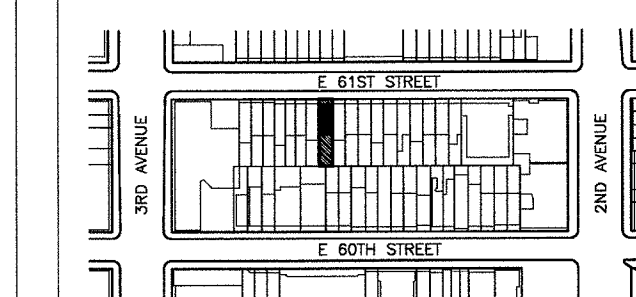
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- 09. PASSENGER ELEVATOR, MANUFACTURER: CUSTOM ELEVATOR, MODEL: IL-11-750
- 10. THERE IS NO SITE WORK AS A PORTION OF THIS CONTRACT.
- 11. CONTRACTOR TO VERIFY EXISTING CONDITION OF FIREPLACES AND ALL RELATED FLUE/CHIMNEY
- 12. SEE SHEET A-600 FOR ROOF DETAILS AND SPECIFICATIONS



**PROPOSED BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

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**KEY PLAN**



DRAWING TITLE:

**PROPOSED BUILDING SECTION**

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

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SCALE: AS NOTED  
DRAWN BY: EF  
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DATE: DECEMBER 2017



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NEW YORK, NEW YORK 10065

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New York, NY 10016  
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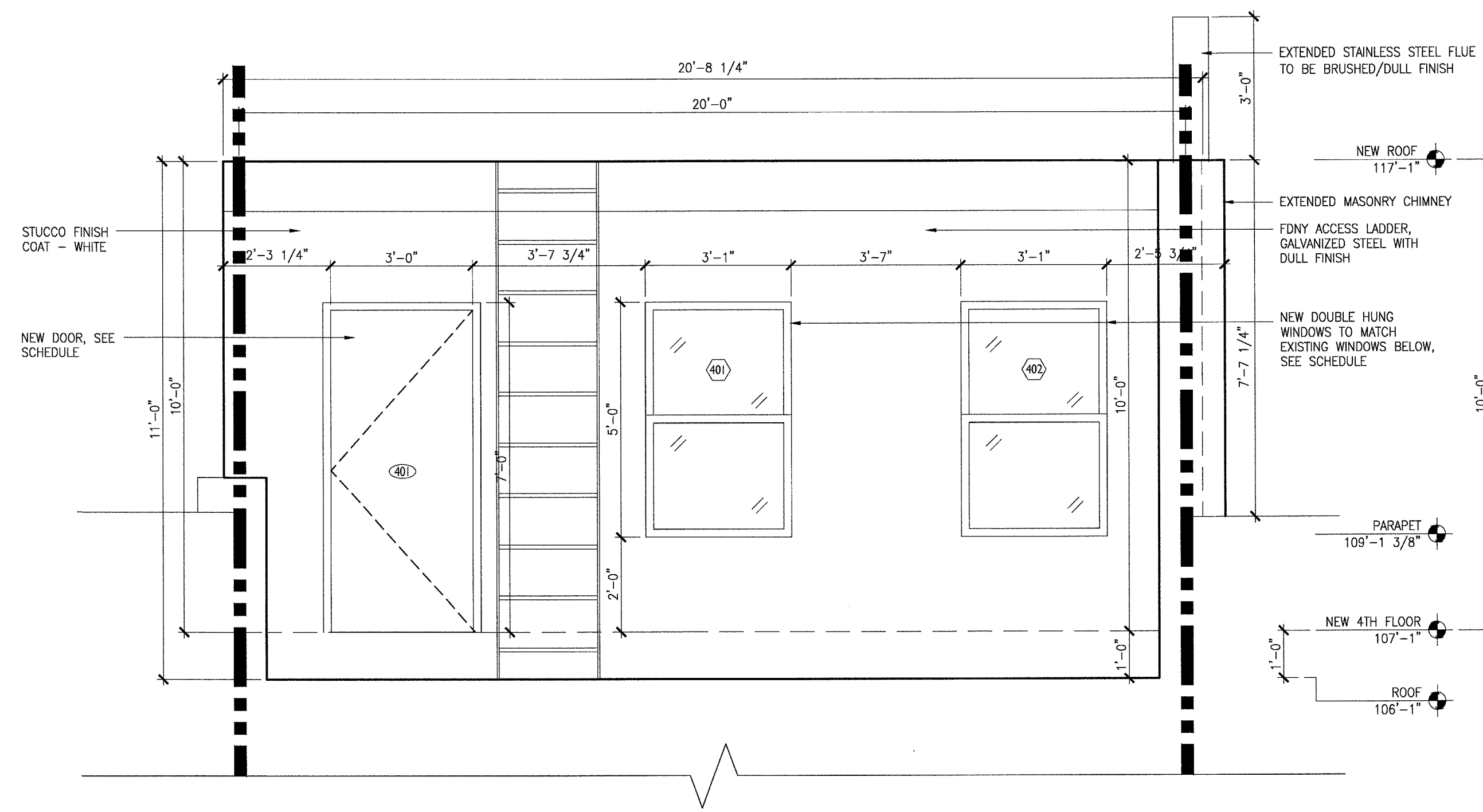
**DEPARTMENT OF BUILDINGS DRAWINGS**  
**NYC LANDMARKS PRESERVATION COMMISSION**  
**APPROVED SECTION**  
DRAWING TITLE

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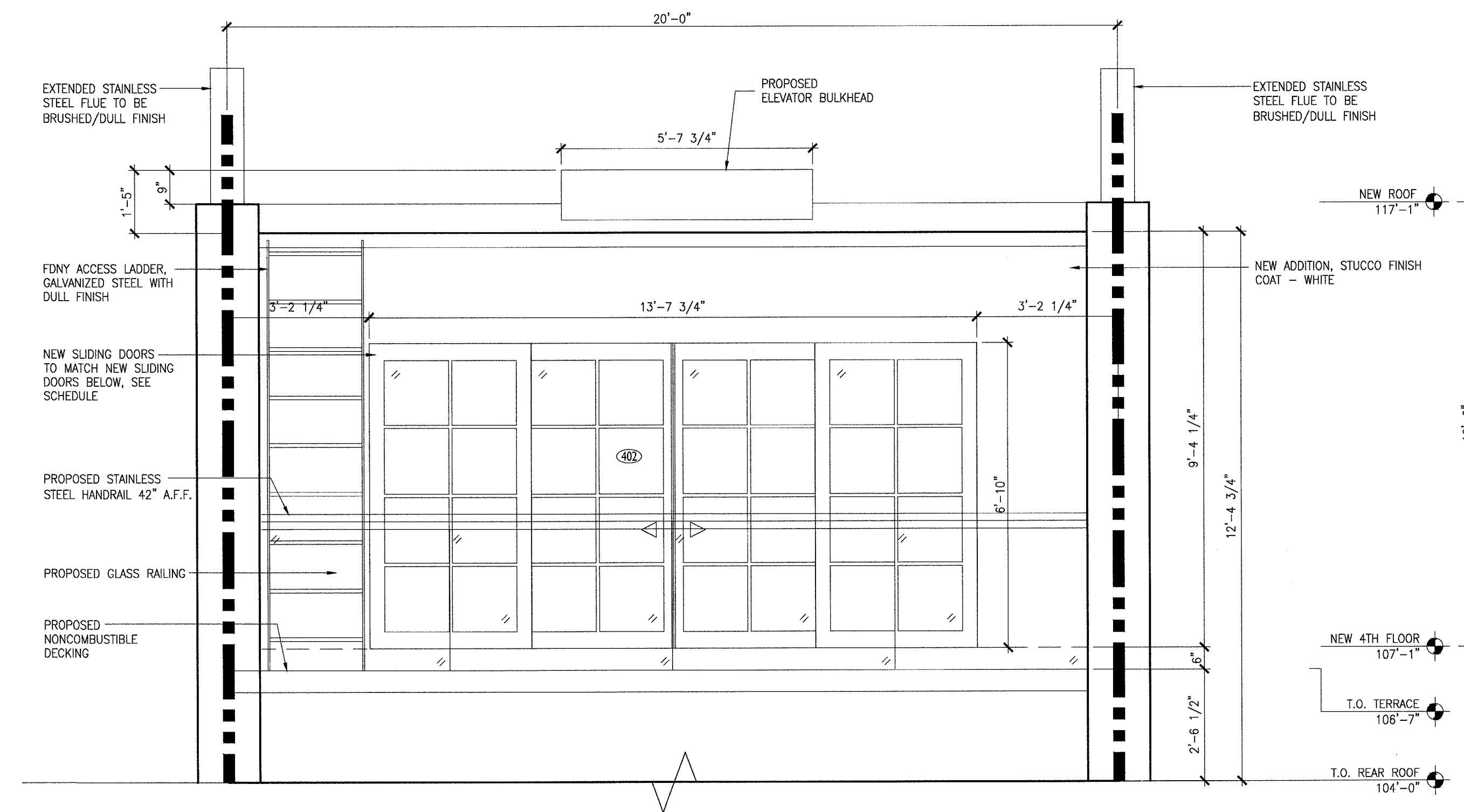
**LPC-05**  
DRAWING NO.

**GENERAL CONSTRUCTION NOTES**

01. THE CONSTRUCTION WORK OF THIS CONTRACT INCLUDES PROVIDING AND INSTALLING ALL ITEMS AS INDICATED ON THE CONTRACT DRAWINGS AND SPECIFICATIONS AND ANY OTHER CONSTRUCTION WORK REQUIRED TO COMPLETE THE WORK OF THE CONTRACT REGARDLESS OF WHETHER OR NOT SUCH CONSTRUCTION WORK IS SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS.
02. SEE SHEET A-601.00 FOR WALL TYPES.
03. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING AND PROPOSED, PRIOR TO THE COMMENCEMENT OF WORK AS INDICATED IN THE CONTRACT DOCUMENTS. VERIFY THE LOCATIONS OF ALL EXISTING STAIR LANDINGS, EXISTING RAILINGS, EXISTING SHAFT WALL ASSEMBLIES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BENCHMARKS AND LAYING OUT ALL NEW WORK, INCLUDING BUT NOT LIMITED TO: ALL NEW OPENINGS IN EXISTING WALLS, NEW FLOOR SLABS, AND NEW FLOOR FRAMING. ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS & THOSE INDICATED ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT OF RECORD. THE CONTRACTOR SHALL MAKE NO DETERMINATION AS TO WHICH DIMENSIONS SHALL GOVERN WITHOUT RECEIVING WRITTEN INSTRUCTION FROM THE ARCHITECT OF RECORD.
04. THE OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITIONS OR MATERIALS OF ITEMS OR STRUCTURES NOT VISIBLE, IF DIFFERENT THAN INDICATED ON THE CONTRACT DOCUMENTS OR IF NOT PRESENTLY VISIBLE.
05. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION AGAINST WEATHER AND UNAUTHORIZED ENTRY FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF ALL WORK. ALL DOOR, WINDOW, AND OTHER OPENINGS SHALL BE SO PROTECTED.
06. THE CONTRACTOR SHALL ADEQUATELY PROTECT ALL MATERIALS, FINISHES, AND/OR ELEMENTS OF THE BUILDING INDICATED TO REMAIN, FOR THE DURATION OF ALL THE WORK. ANY DAMAGE TO ITEMS TO REMAIN SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
07. IF MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB THEM, BUT NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY.
08. FOR THE CONSTRUCTION OF MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS, REFER TO THE CONSTRUCTION SECTIONS IN THE DRAWINGS FOR THOSE RESPECTIVE DISCIPLINES.
09. PASSENGER ELEVATOR, MANUFACTURER: CUSTOM ELEVATOR, MODEL: IL-11-750
10. THERE IS NO SITE WORK AS A PORTION OF THIS CONTRACT.
11. CONTRACTOR TO VERIFY EXISTING CONDITION OF FIREPLACES AND ALL RELATED FLUE/CHIMNEY
12. SEE SHEET A-600 FOR ROOF DETAILS AND SPECIFICATIONS



**1 PROPOSED NORTH ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 PROPOSED SOUTH ELEVATION**  
SCALE: 1/2" = 1'-0"

**220 EAST 61 STREET  
NEW YORK, NY 10065**

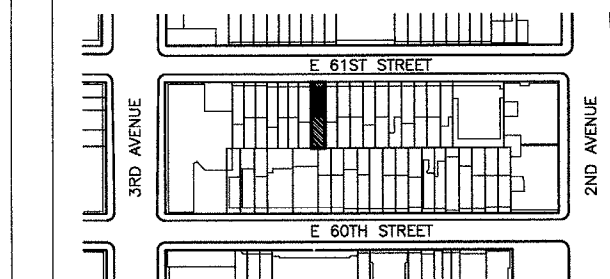
PREPARED FOR:  
OWNER:  
**PRIVATE RESIDENCE**  
220 East 61st St  
New York, NY 10065

Architect  
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175 Varick Street, 8th Floor  
New York, NY 10014  
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2018.03.09 ISSUED FOR DOB FILING  
DATE REVISION DESCRIPTION

KEY PLAN

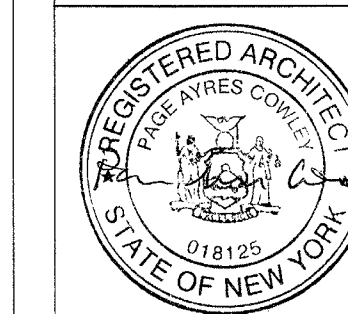


DRAWING TITLE:

**PROPOSED ENLARGED  
NORTH AND SOUTH  
ELEVATIONS**

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

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**DEPARTMENT OF BUILDINGS DRAWINGS  
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APPROVED ADDITION ELEVATIONS**  
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**LPC-06**

DRAWING NO.







EXISTING CONDITION - PRE-CONSTRUCTION OF ROOFTOP ADDITION



AS-BUILT CURRENT CONDITION WITH ROOFTOP ADDITION

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**BEFORE AND AFTER PHOTOGRAPHS  
OF THE REAR FACADE**

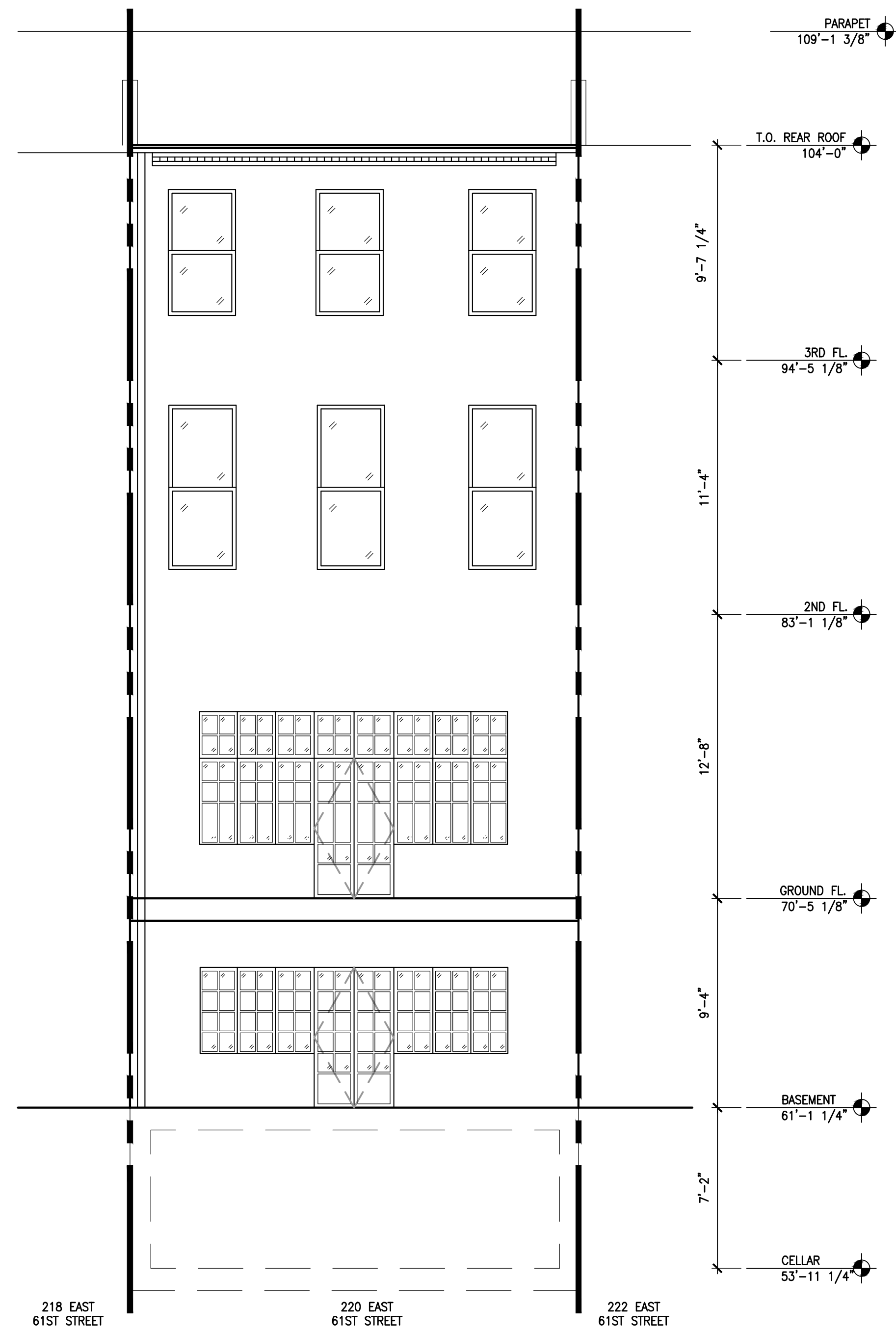
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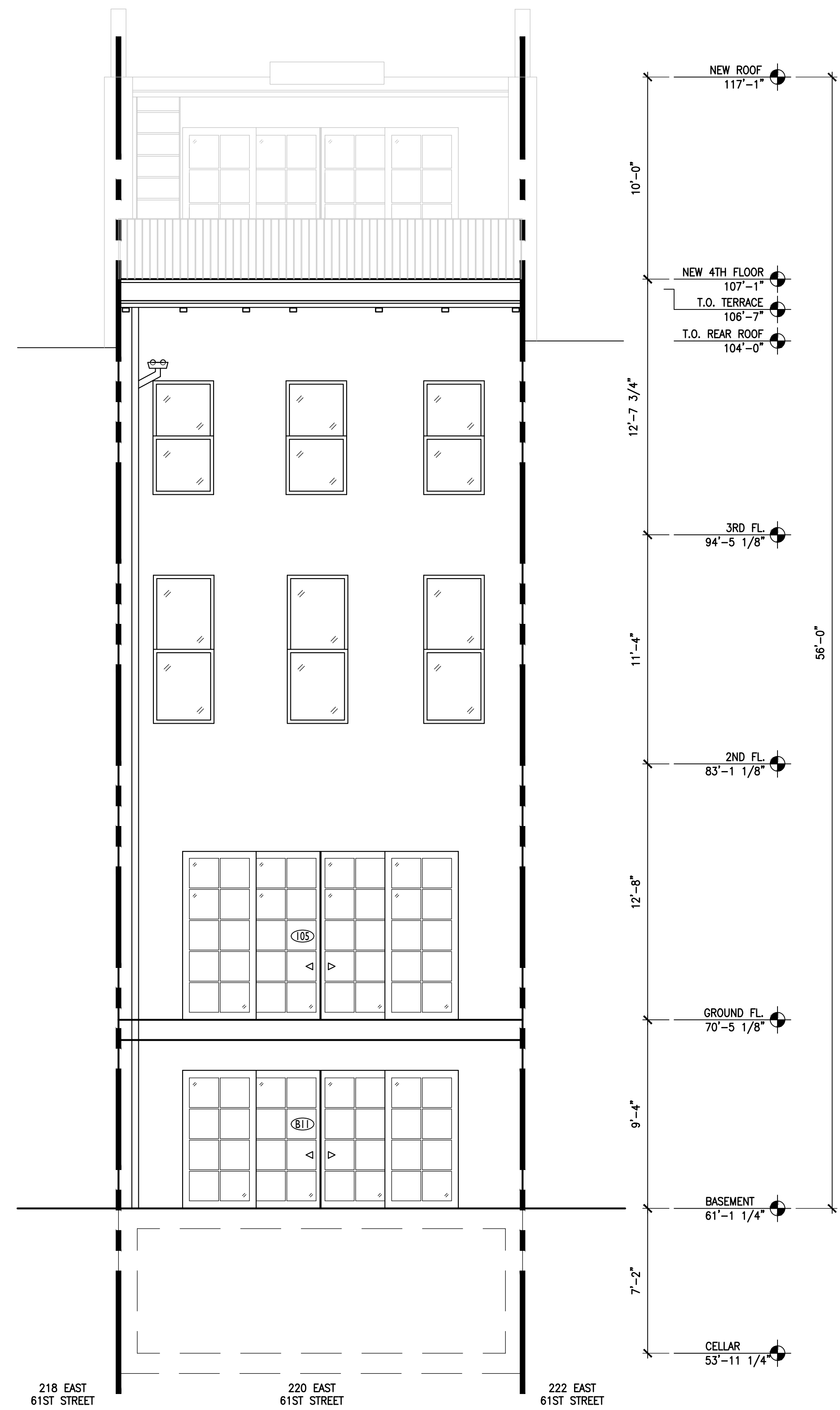
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EXISTING CONDITION - PRE-CONSTRUCTION OF ROOFTOP  
ADDITION

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ROOFTOP ADDITION: AS-BUILT CURRENT CONDITION

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PRE-CONSTRUCTION AND AS-BUILT DRAWING OF  
REAR ELEVATION

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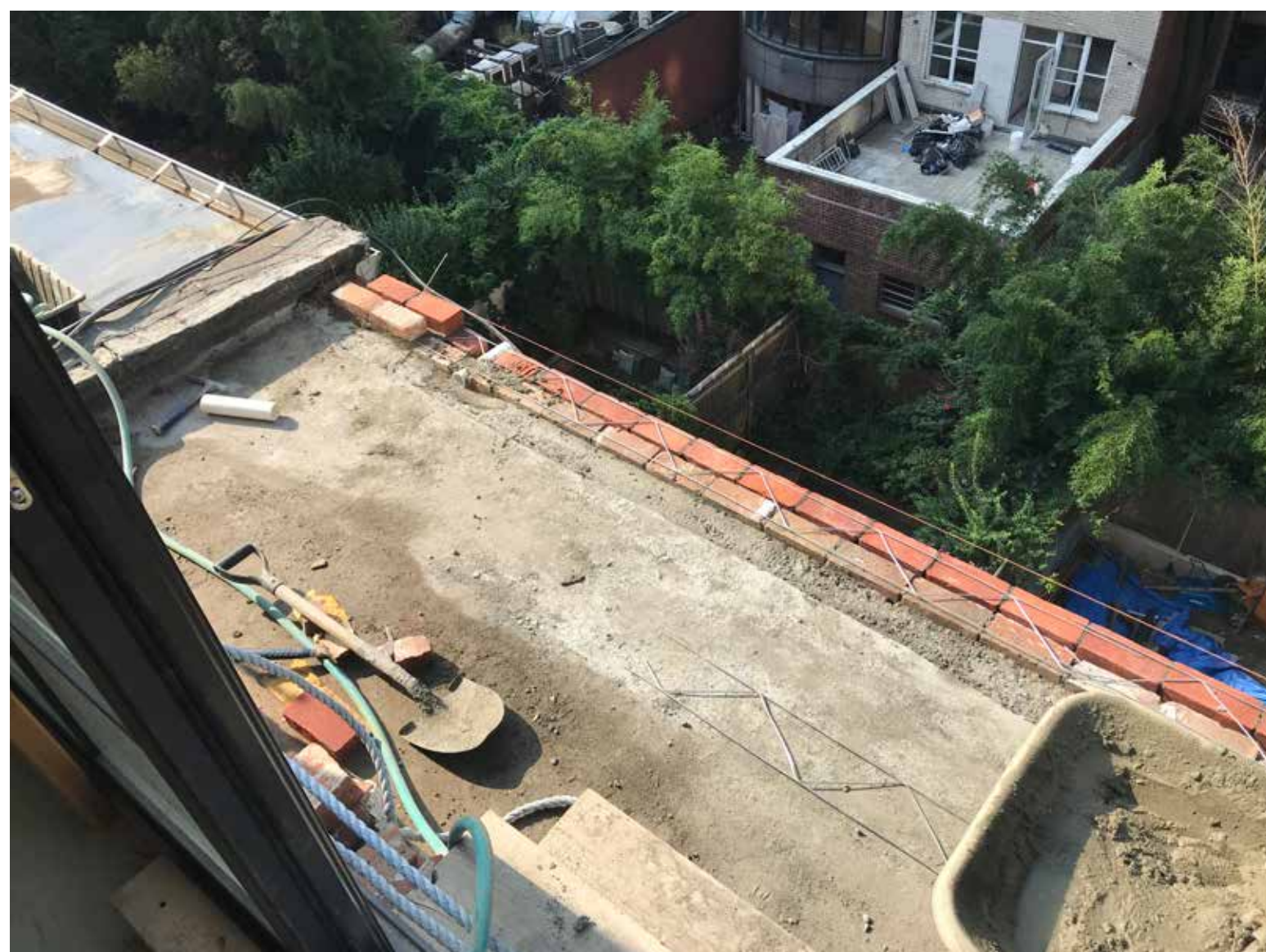
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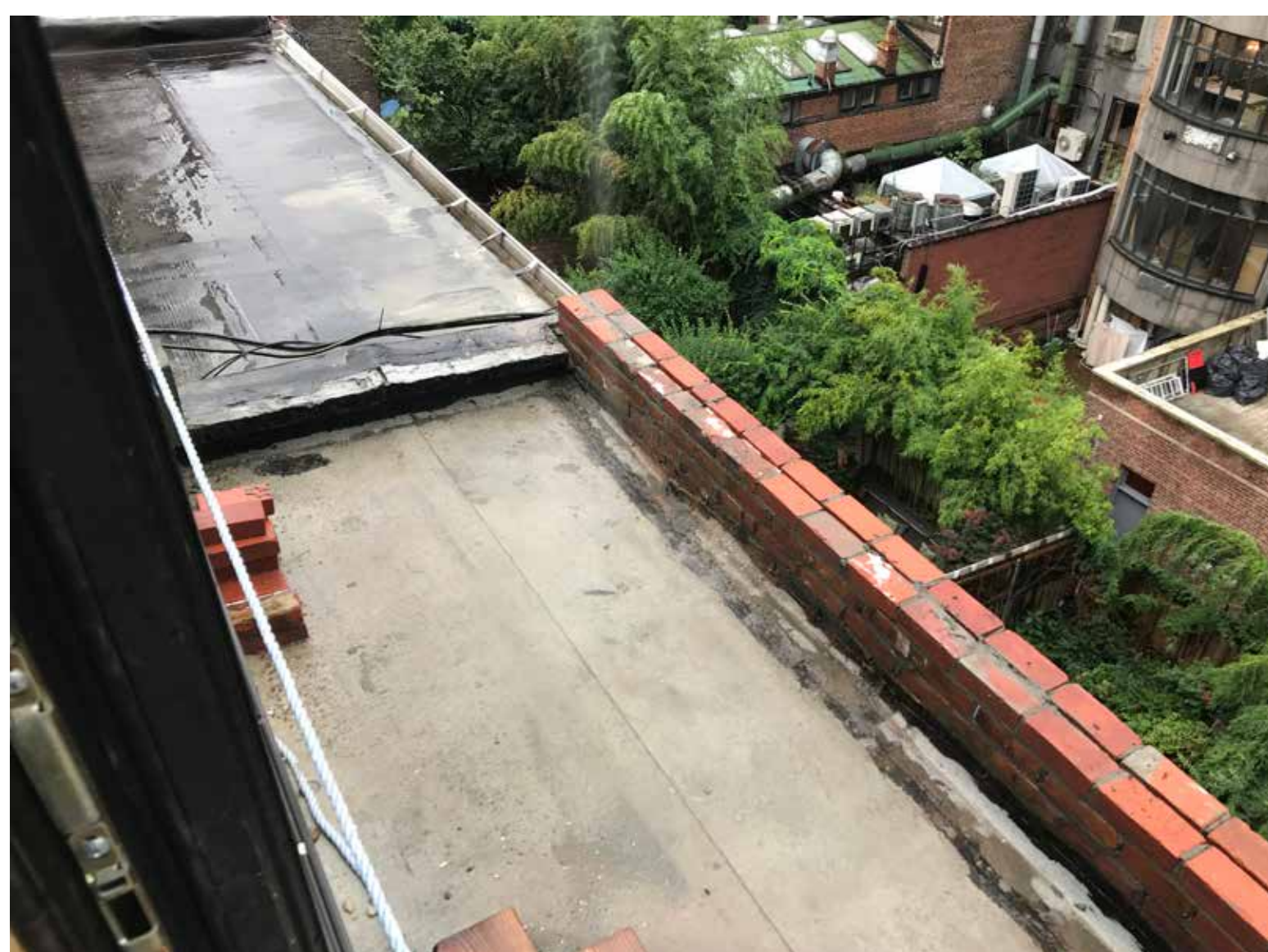




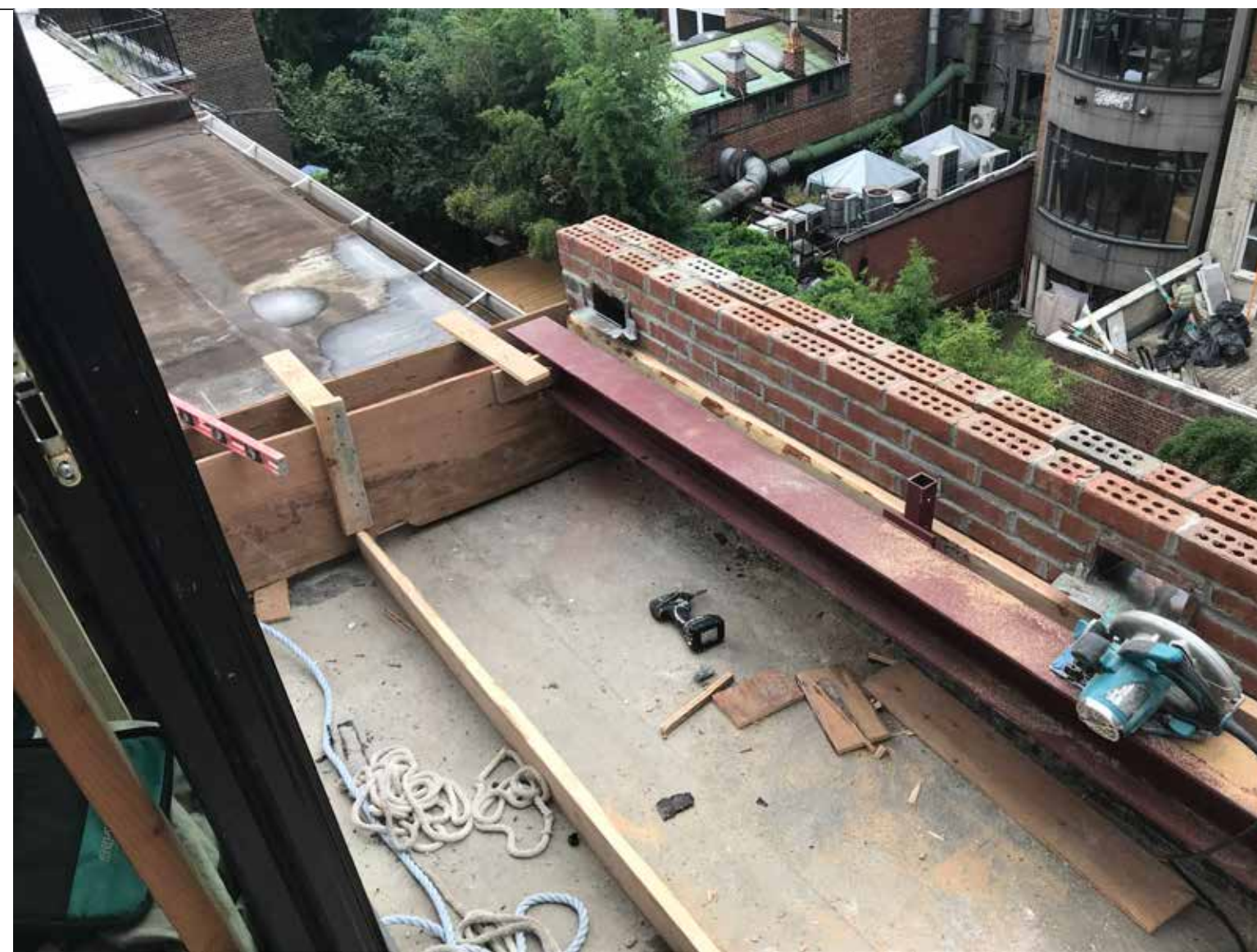
PHOTOGRAPH 01: REAR PARAPET WALL AT BRICK CORBEL, NOTE SEPARATION BETWEEN ROOF SLAB AND WALL AND LOSS OF BRICK CORBEL. SEPTEMBER 4, 2018



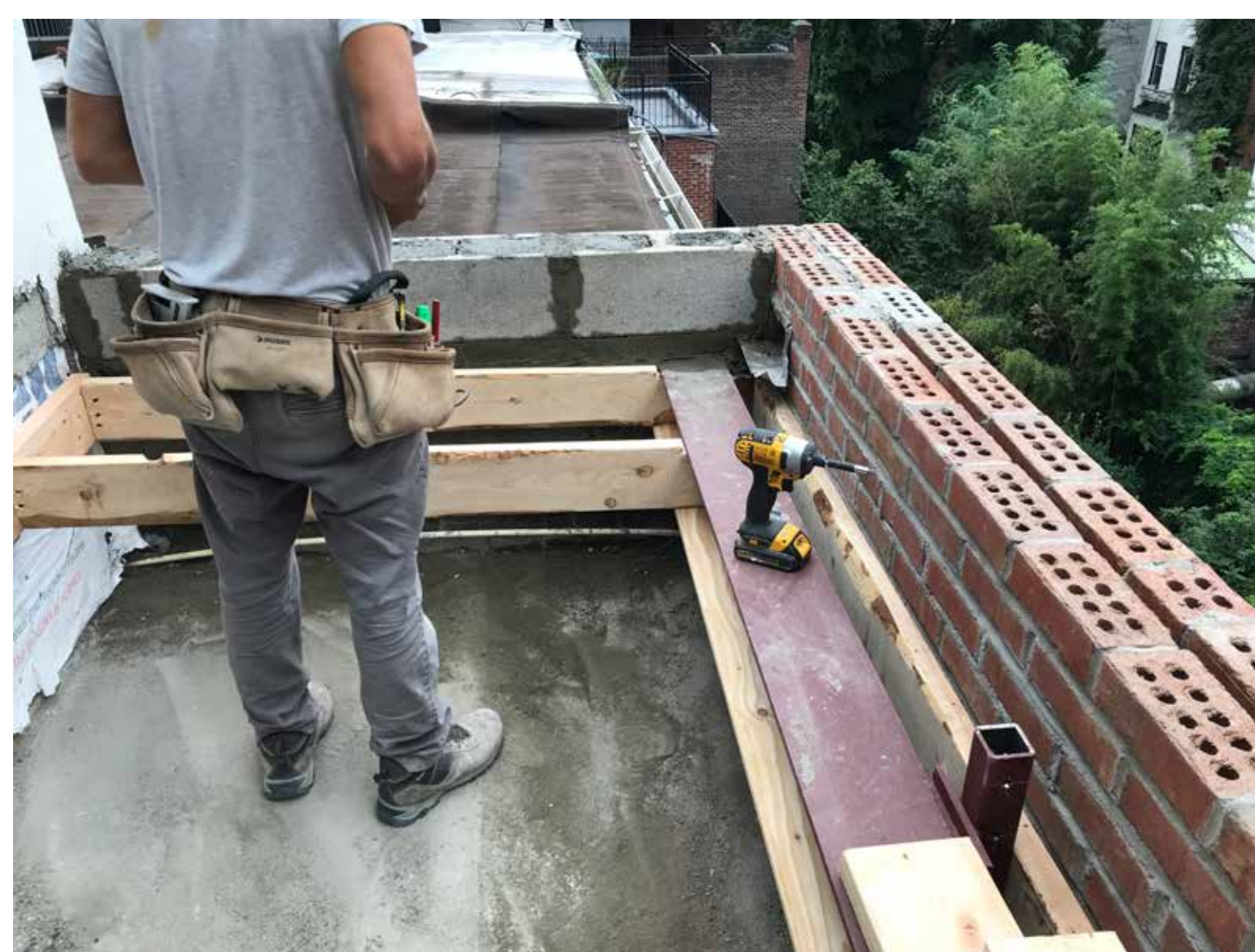
PHOTOGRAPH 02: REAR PARAPET WALL REBUILT AND SECURED TO REPAIRED ROOF SLAB. SEPTEMBER 6, 2018



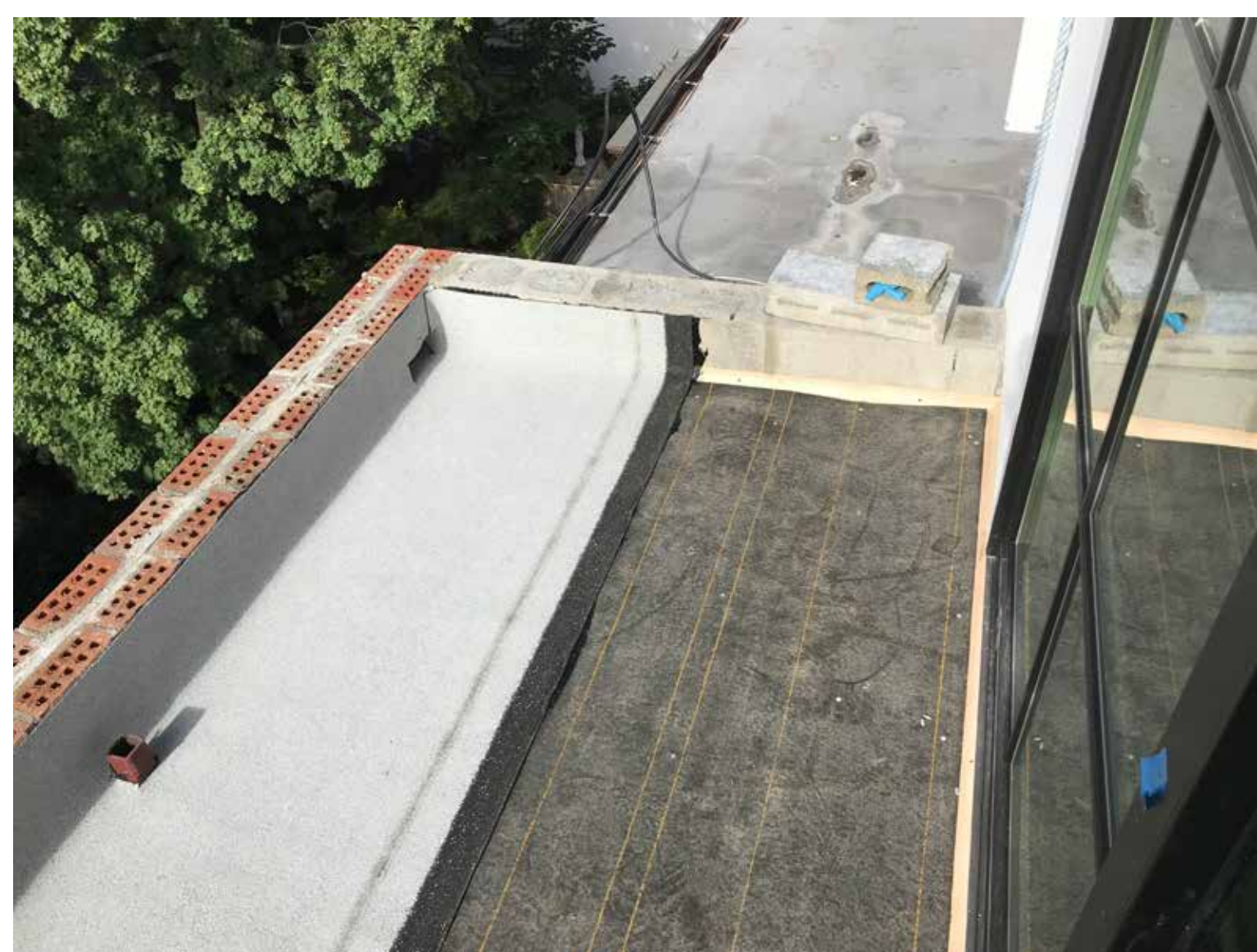
PHOTOGRAPH 03: REAR PARAPET WALL BUILT UP FOR NEW WATERPROOFING MEMBRANE AND PREPARE FOR NEW STRUCTURE. SEPTEMBER 11, 2018



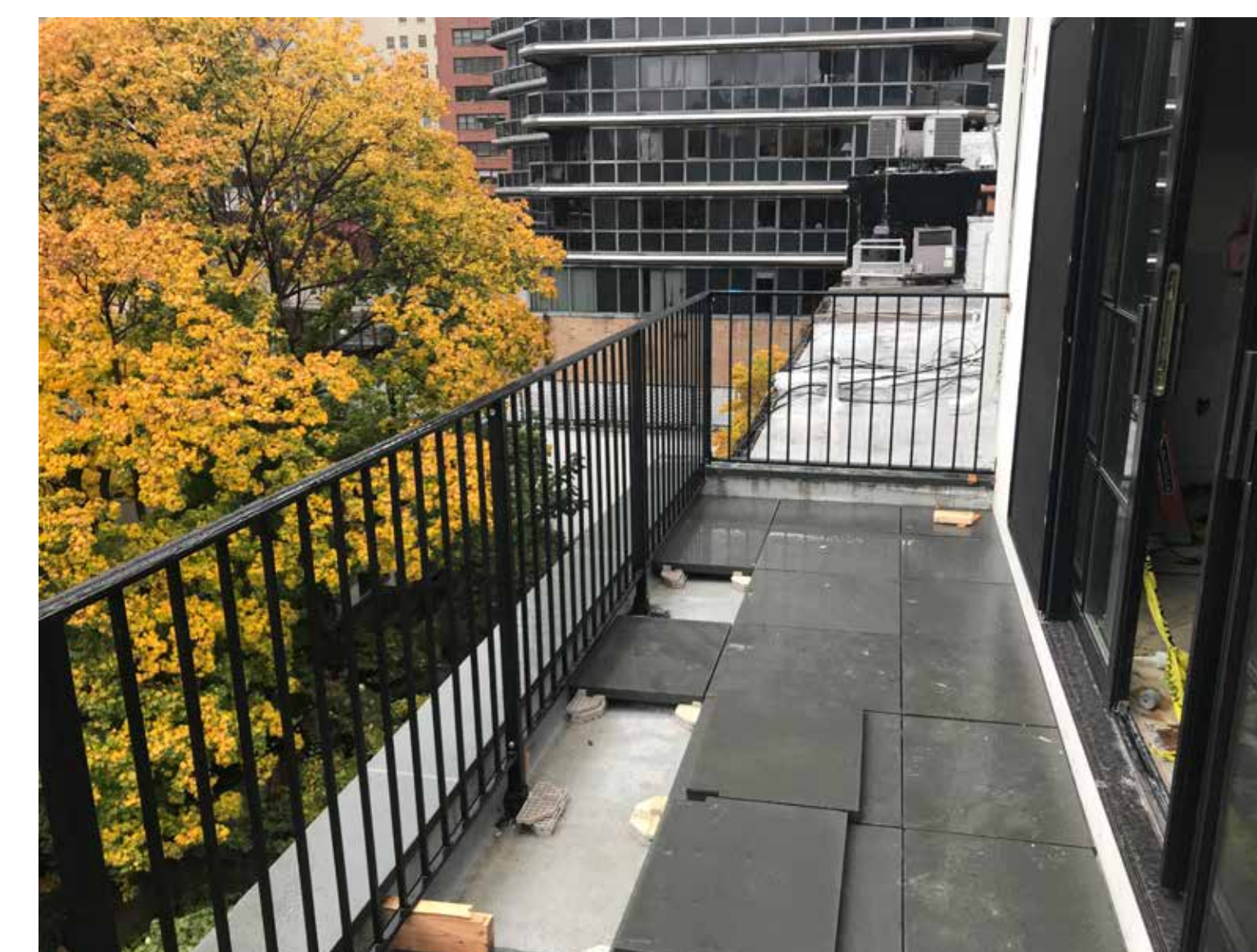
PHOTOGRAPH 04: REAR PARAPET WALL BUILT UP TO CONCEAL NEW STRUCTURE AND PROVIDE NEW DRAINAGE. SEPTEMBER 20, 2018



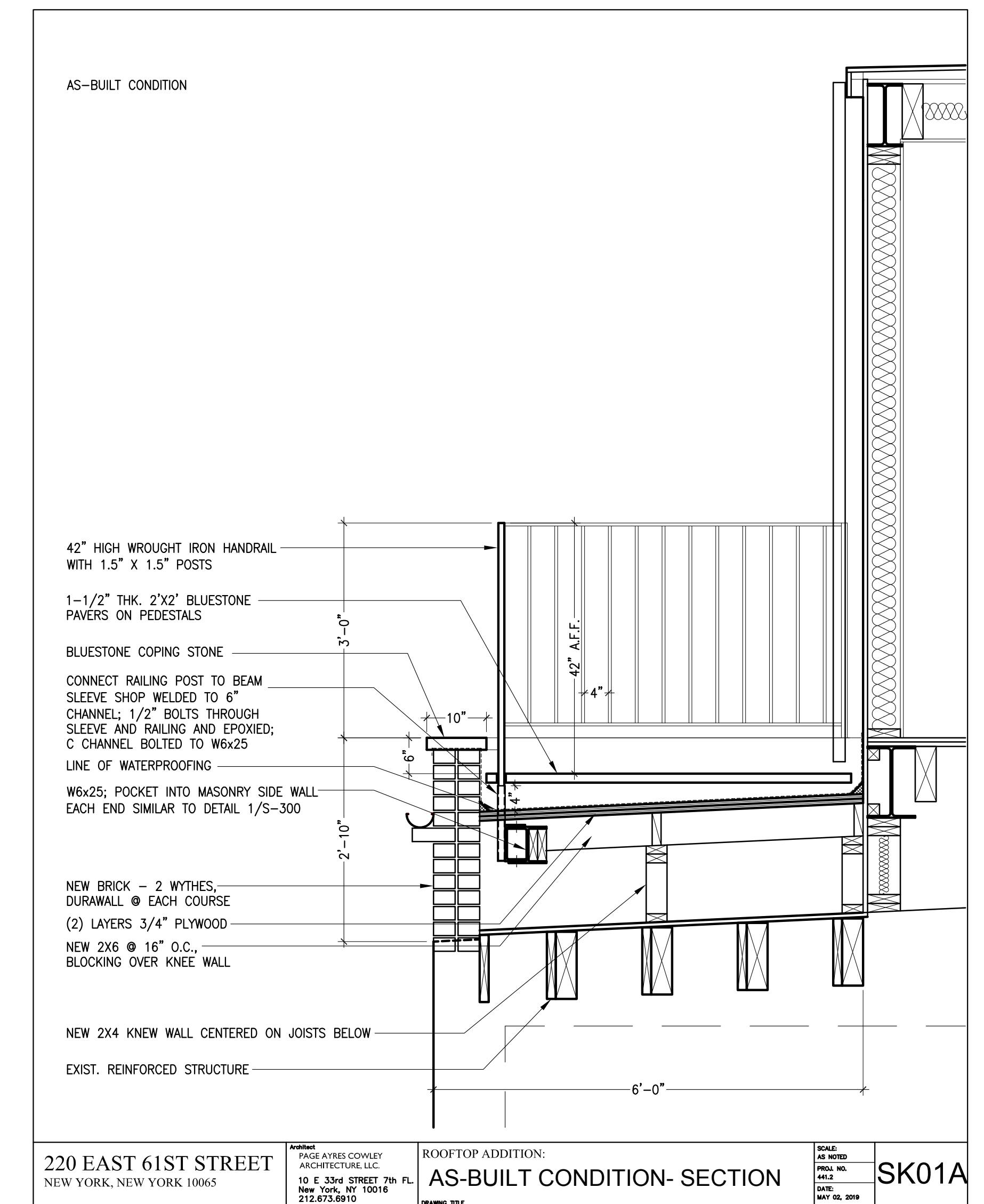
PHOTOGRAPH 05: REAR PARAPET WALL WITH NEW DECK FRAMING. SEPTEMBER 21, 2018



PHOTOGRAPH 06: NEW TERRACE FLOOR AND ROOFING, AND WATERPROOF MEMBRANE WITH MINIMUM HEIGHT AS REQUIRED UP NEW REAR PARAPET WALL. SEPTEMBER 27, 2018



PHOTOGRAPH 07: COMPLETED TERRACE PAVING OVER ROOFING, AND WATERPROOF MEMBRANE WITH MINIMUM HEIGHT NEW REAR PARAPET WALL AND COPING STONE. NOVEMBER 5, 2018



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AS-BUILT CONDITION AT TERRACE AND  
REAR FACADE ROOF TOP ADDITION WITH  
CONSTRUCTION PHOTOGRAPHS

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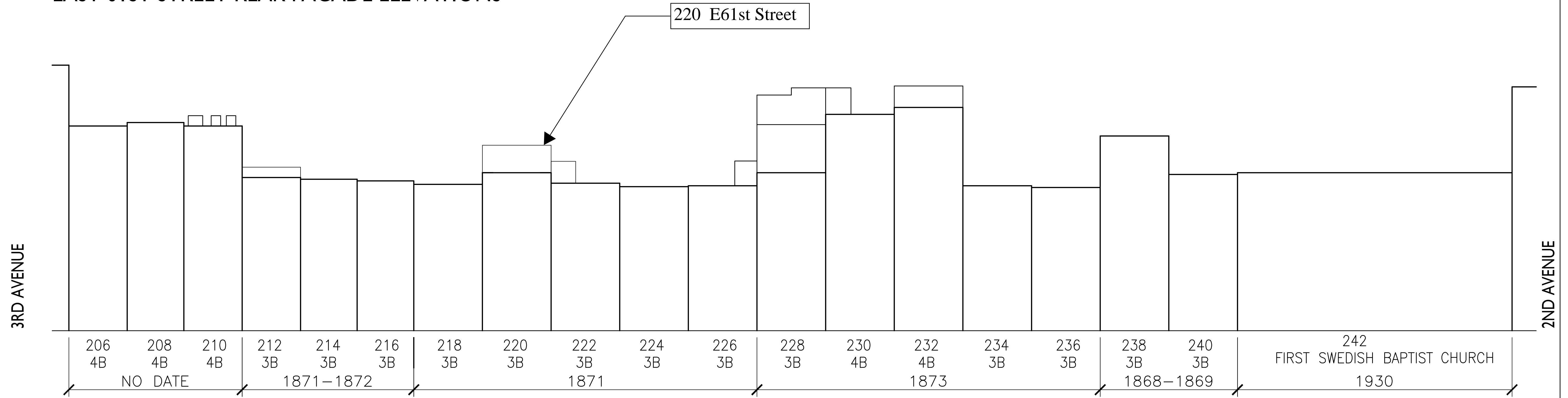
DATE:

LPC-09

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# EAST 61ST STREET REAR FACADE ELEVATIONS



	1967 LPC DESIGNATION DESCRIPTION				
	206 PAINTED FACADE, STOOP RETAINED, BUILDING REMAINS MUCH THE SAME AS WHEN IT WAS BUILT 208 NO STOOP, BUILDING RETAINED ORIGINAL DETAILS 210 PAINTED FACADE, STOOP RETAINED, BUILDING RETAINED ORIGINAL DETAILS	212 PAINTED FACADE, NO STOOP, ALL REMODELED 214 STOOP RETAINED, ALL REMODELED 216 NO STOOP, ALL REMODELED	218 NO STOOP, ALL REMODELED 220 NO STOOP, ALL REMODELED 222 PAINTED FACADE, NO STOOP, ALL REMODELED 224 PAINTED FACADE, NO STOOP, ALL REMODELED 226 NO STOOP, ALL REMODELED	228 STOOP RETAINED 230 PAINTED FACADE, NO STOOP 232 PAINTED FACADE, NO STOOP 234 PAINTED FACADE, NO STOOP, ORIGINAL MOLDING ABOVE BASEMENT RETAINED 236 PAINTED FACADE, STOOP RETAINED	238 NO STOOP 240 STOOP RETAINED
	<b>CURRENT CONDITIONS</b> 206 2014 - 2 STORY FULL REAR YARD ADDITION 208 2011 - ACTIVE LANDMARK VIOLATION 210 2014 - FRONT FACADE RESTORATION, HVAC AT REAR EDGE OF ROOF	212 2006 - 2 STORY REAR ADDITION-STOP WORK ORDER, RAILINGS AT REAR FACADE AND HVAC UNITS ON ROOF AT REAR FACADE 214 2008 - WINDOW ENLARGEMENTS AND 2 STORY BAY WINDOWS 216 NO DATE - 2 STORY BAY WINDOWS	218 1999-2009 - BASEMENT ADDITION WITH TERRACE AND FIXED AWNING ON 1ST FLOOR 220 CURRENTLY UNDER RENOVATION 222 2011 - BULKHEAD AND HALF REAR YARD EXTENSION AT FIRST FLOOR AND FULL ADDITION AT BASEMENT 224 1997 AND 2018 - FULL REAR YARD ADDITION AT BASEMENT LEVEL 226 NO DATE - BULKHEAD AND HVAC EQUIPMENT ON ROOF, MODIFIED GROUND AND 1ST FLOOR WINDOWS, 2ND FLOOR JULIET BALCONY, BROWNSTONE/STUCCO FACADE	228 2006-2007 - 3 STORY REAR YARD ADDITION AND 2 STORY ROOFTOP ADDITION 230 1992 - GREENHOUSE ADDITION AT 2ND FLOOR AND ROOFTOP ADDITION 232 1990 - 3 STORY REAR ADDITION WITH ROOFTOP ADDITION AND PERIMETER FENCE ALONG EDGE OF ROOF 234 1990 AND 2006 - 2 STORY REAR YARD ADDITION WITH TERRACE 236 2004 - REAR YARD ADDITION AT BASEMENT AND 1ST FLOORS WITH SKYLIGHT	238 2001-2005 - REAR YARD ADDITION, NEW BAY WINDOW AT 1ST FLOOR, REALIGNED 4TH FLOOR WINDOWS AT ROOFTOP ADDITION 240 2001-2006 - HALF REAR YARD ADDITION AT 1ST, 2ND, 3RD FLOORS

## ALIGNMENTS AND INFORMATION

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**EXISTING REAR FACADE CONDITIONS ANALYSIS FOR THE SOUTH SIDE OF 61ST STREET**

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**LPC-10**

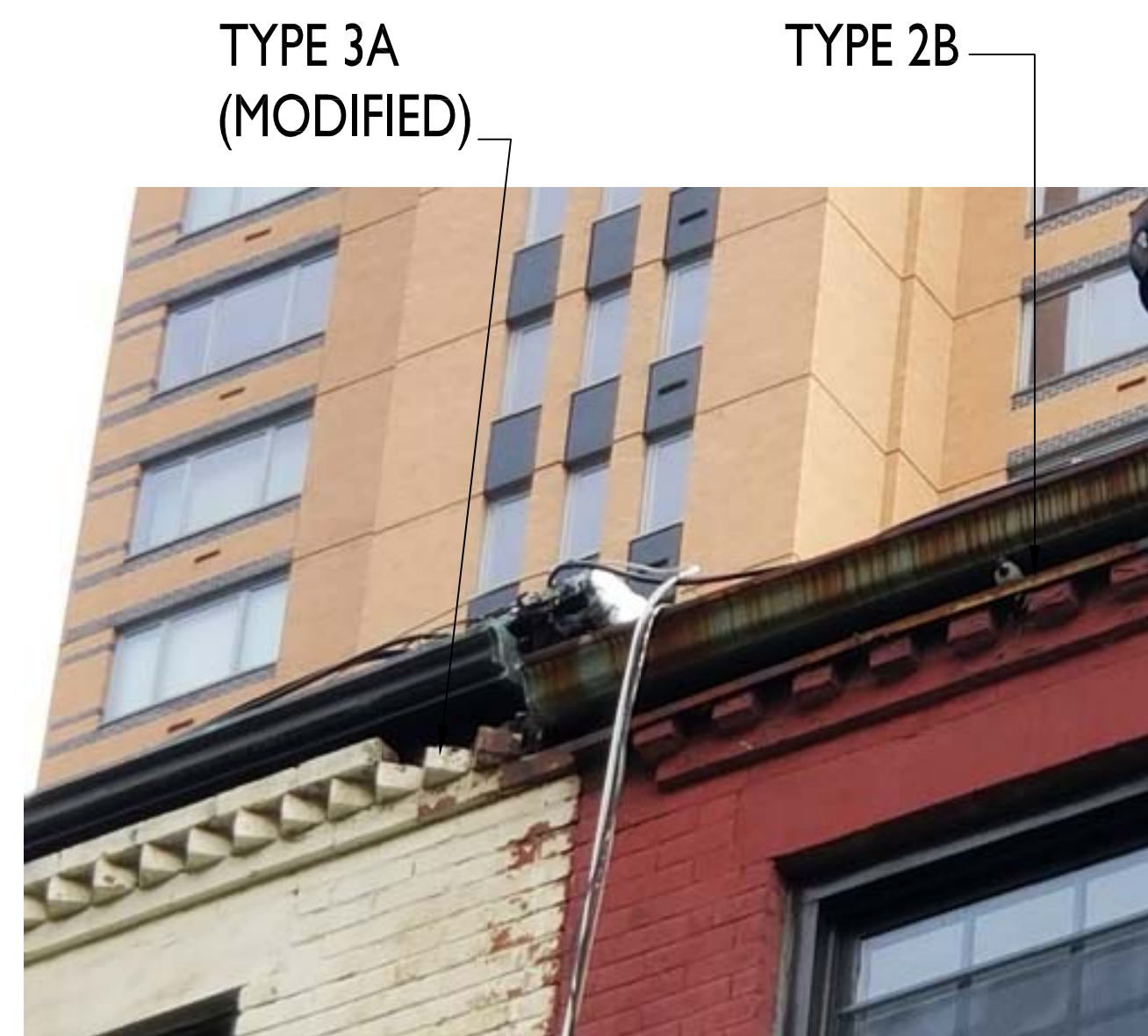
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# TYPICAL REAR FACADE ALIGNMENTS



CHANGE FROM 4 STORY TO 3 STORY  
EXAMPLE SHOWN AT 210-212 E61ST STREET



TYPICAL CONDITION BETWEEN SIMILAR SIZE  
ROW HOUSES FROM 212 -226  
EXAMPLE SHOWN AT 216-218 E61ST STREET



DIFFERENCE IN HEIGHT BETWEEN 3 STORY  
BUILDINGS AND WITH ADDITION ON TOP  
EXAMPLE SHOWN AT 226-228 E61ST STREET



TRANSITIONS FROM 3 TO 4 STORY WITH ROOFTOP  
ADDITIONS AND CHANGE IN CORBEL TYPE TO NO  
CORBEL AT ALL  
EXAMPLE SHOWN AT 228-230 E61ST STREET

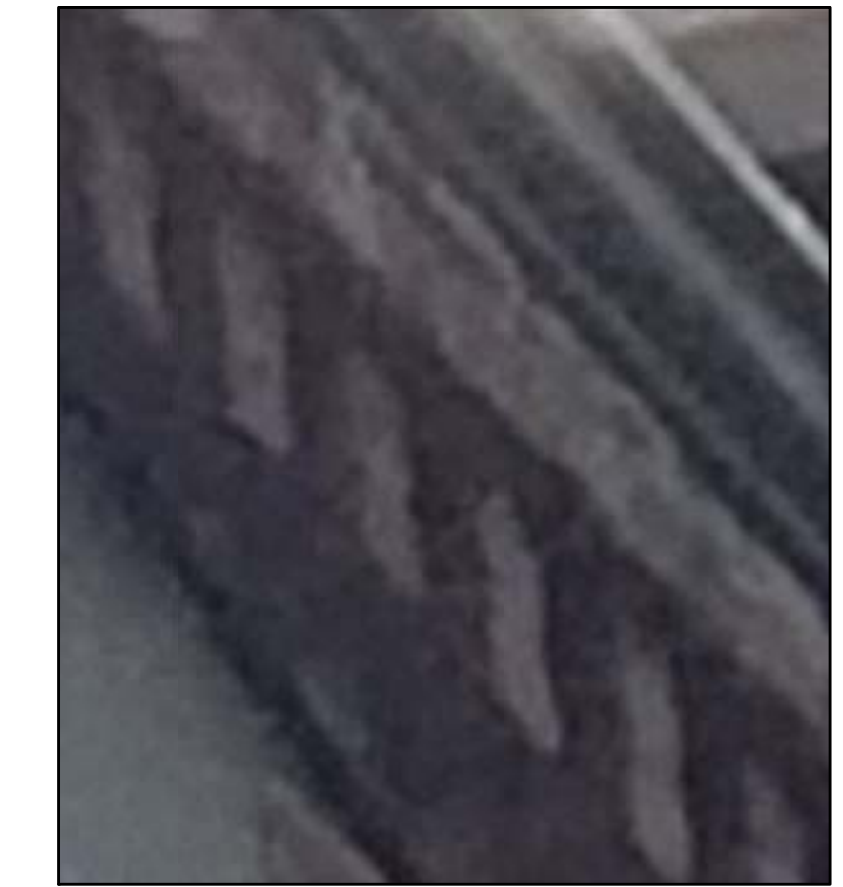
# CORBEL TYPES



CORBEL TYPE 1  
SOLDIER BRICK EXTRUSION



CORBEL TYPE 1A  
SOLDIER BRICK EXTRUSION  
BRICKS STACKED TO RESEMBLE  
SOLDIER COURSE



CORBEL TYPE 1B  
SOLDIER BRICK EXTRUSION  
BRICKS LEDGE AT TOP



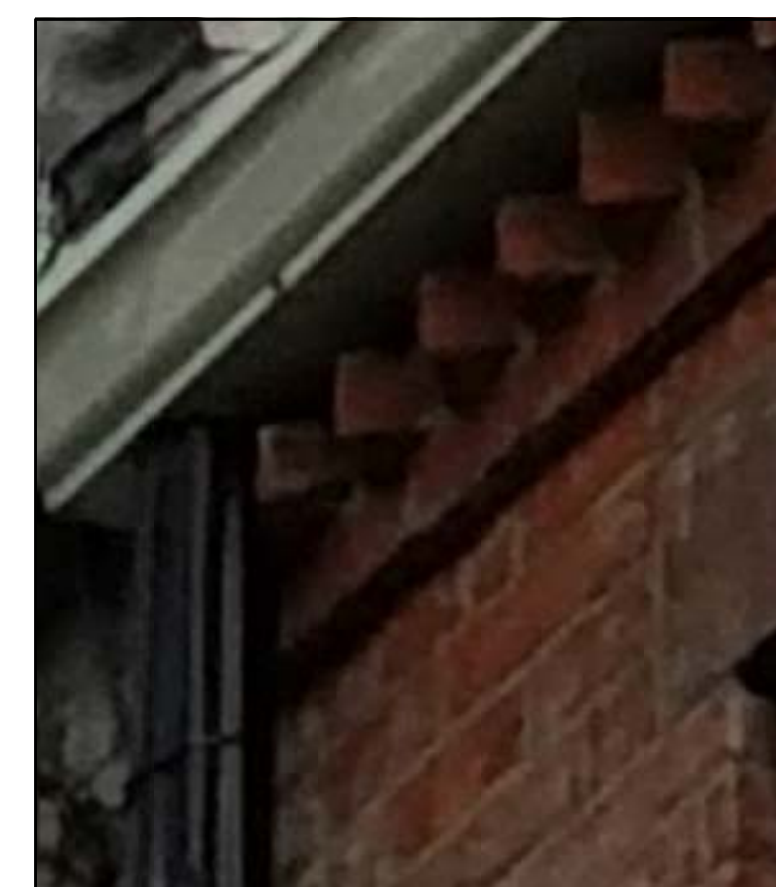
CORBEL TYPE 2  
SQUARE BRICK EXTRUSION



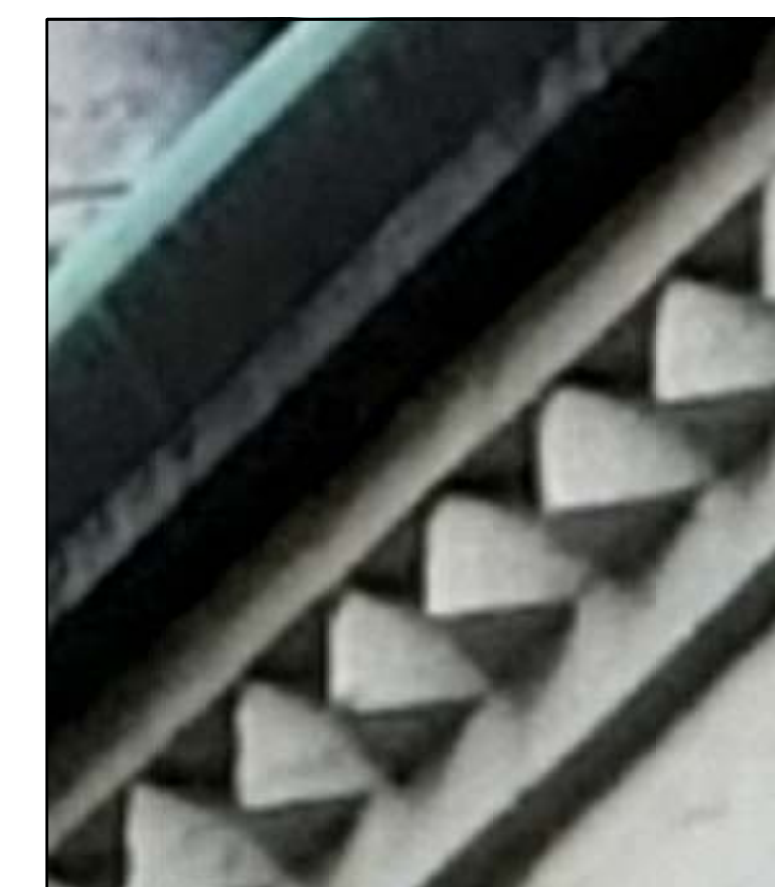
CORBEL TYPE 2A  
SQUARE BRICK EXTRUSION  
BRICK LEDGE ON TOP



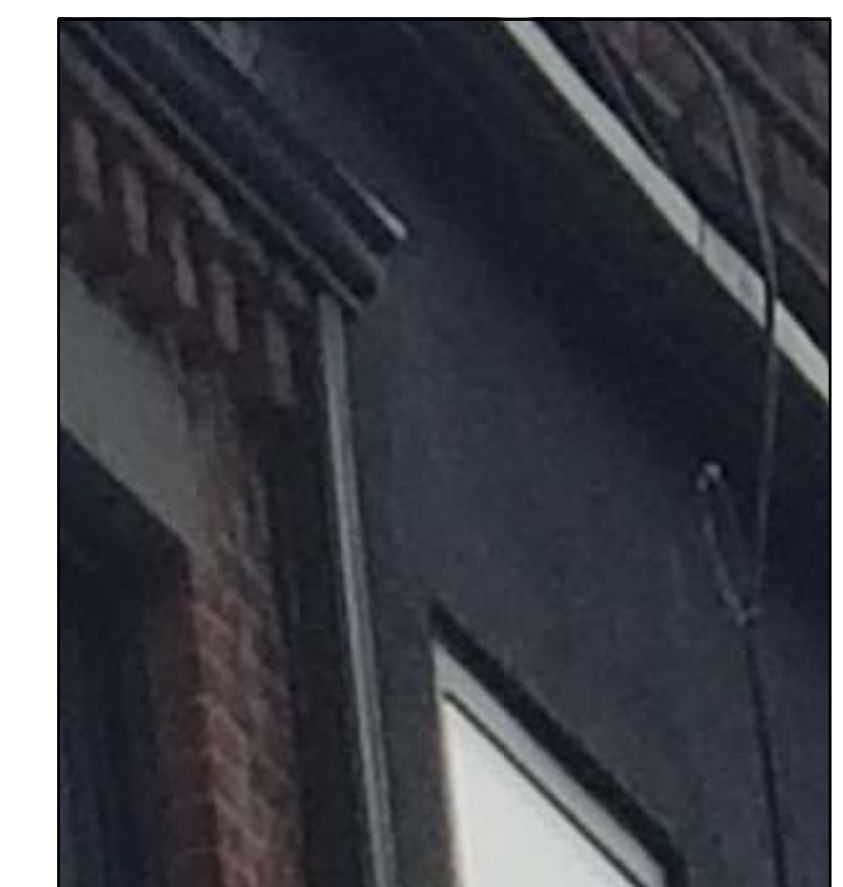
CORBEL TYPE 2B  
SQUARE BRICK EXTRUSION  
THIN BRICK LEDGE ON TOP



CORBEL TYPE 3  
ANGLED BRICK EXTRUSION



CORBEL TYPE 3A  
ANGLED BRICK EXTRUSION  
BRICK LEDGE ON TOP



CORBEL TYPE 4  
NO CORBEL ON BUILDING

## CORBEL TYPE PHOTOGRAPHS AND ALIGNMENTS

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PHOTOGRAPH: ADJACENT BUILDINGS TO THE WEST OF THE PROPERTY, NOTE UNEVEN BUILDING HEIGHTS, MECHANICAL EQUIPMENT AT BUILDING REAR WALL EDGE, RAILINGS AT EDGE, AND DIFFERENT CORBEL TYPES



PHOTOGRAPH: ADJACENT BUILDINGS TO THE EAST OF THE PROPERTY, NOTE UNEVEN BUILDING HEIGHTS, ROOFTOP ADDITIONS, MODIFIED FACADE MATERIALS, AND NO CORBELS ON ALL BUILDINGS

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**EXISTING REAR FACADE PHOTOGRAPHS OF  
ADJACENT BUILDINGS**

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**LPC-12**

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