

Ms. Saida Harrigan
Manhattan Community Board 8
505 Park Avenue, Suite 620
New York, NY 10022

January 6, 2020

Re: 1083 5th Avenue, Manhattan
Application to Perform Sidewalk Replacement and to Install a Low Wall and Railing
at 1083 Fifth Avenue

Dear Ms. Harrigan,

We hereby submit this Application which covers the replacement of a non-historic sidewalk with a new sidewalk, as well as the proposed construction of a new low knee-wall and railing at the subject property, all as described on the attached drawings.

It is desired to construct this new low wall and railing to enhance the subject building in a way that is aesthetically more consistent with the character of other residential properties on the nearby parts of 5th Avenue, nearly all of which are fronted with some form of planting defined by railings, curbs or low enclosing walls. *(Refer to the 'Precedent' photos shown on sheets 5, 6 and 7.)* Additionally, we believe the definition provided by the low wall will alleviate the highly unusual architectural condition whereby the entry door of a townhouse opens directly from the street without the 'buffer zone' typically found in the form of steps, a stoop, railings or some other architectural feature between the public and private realms. We note also that the subject property previously had a wall and an enclosed areaway in front of the building, as is shown in a 1904 Photograph included on Page 5 of this application. *(Note that the 1904 photograph shows the original brick and limestone façade which predated the present limestone façade designed by Ogden Codman Jr. circa 1913, and built circa 1915.)*

We note the following:

1. Reviewing Agencies: The drawings have already been submitted to the Department of Transport ('DoT'). Following that agency's initial review, DoT instructed us to provide the same documents to the Landmarks Preservation Commission (LPC) for their additional review and comment. Landmarks responded favorably and indicated they will support the Application at Public Hearing and, accordingly, instructed us to issue these documents to Manhattan Community Board 8.

2. Application Format: The drawing format is that specifically required by DoT, with all new work being shown in red. Pedestrian clearance dimensions and other sidewalk encroachments or obstructions are shown to satisfy other DoT review requirements.
3. Replacement Sidewalk: The existing sidewalk is dissimilar in color and texture to the adjoining sidewalk and is presumed to be a replacement surface dating from more than 20 years ago. The sidewalk was poorly constructed as evidenced by the cracking and caulk sealant at many locations. Water migration through cracks has caused structural steel in the vault area below the sidewalk to corrode severely. Portions of the sidewalk are supported on steel jacks directly below. It is proposed to replace the dissimilar, failing sidewalk (and the structural system below), with a new concrete sidewalk more consistent in color and texture with the sidewalks on the two immediately adjacent properties.
4. Knee Wall and Railing:
 - The masonry component of the knee wall will be fabricated from carved limestone that will closely match the limestone on the 5th Avenue façade of the subject building.
 - This new masonry wall will not be in physical contact with the granite base of the existing building. There will be a slight separation of several inches.
 - The tubular railing above the limestone will be in brass with an antique finish.
 - The proposed plantings will be in loose, 'stand-alone' planters behind the limestone wall so no soils, waterproofing membranes or flashings will be needed, and no new materials will be in direct physical contact with the existing protected façade.

Please feel free call me or e-mail directly with questions regarding the proposed work.

Thank you.

Brian Connolly
Principal
B.Connolly@zivarch.com
Tel. (212) 807-8577 ext. 207



1 VIEW OF 1083 FIFTH AVENUE
Not to Scale



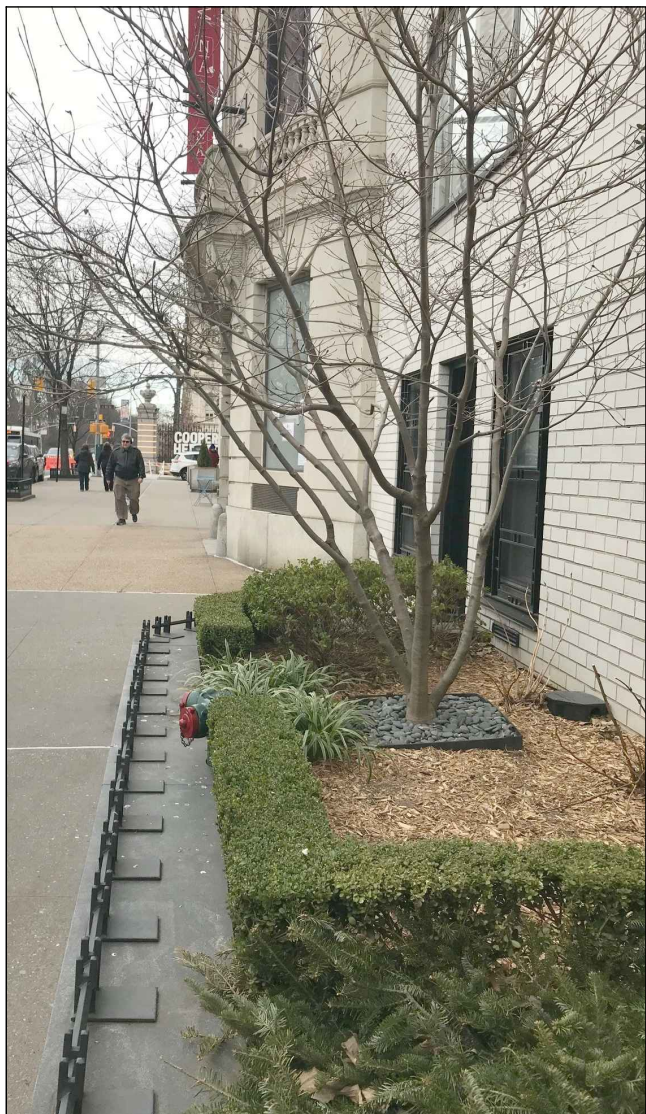
2 CLOSE-UP VIEW OF 1083 FIFTH AVENUE
Not to Scale



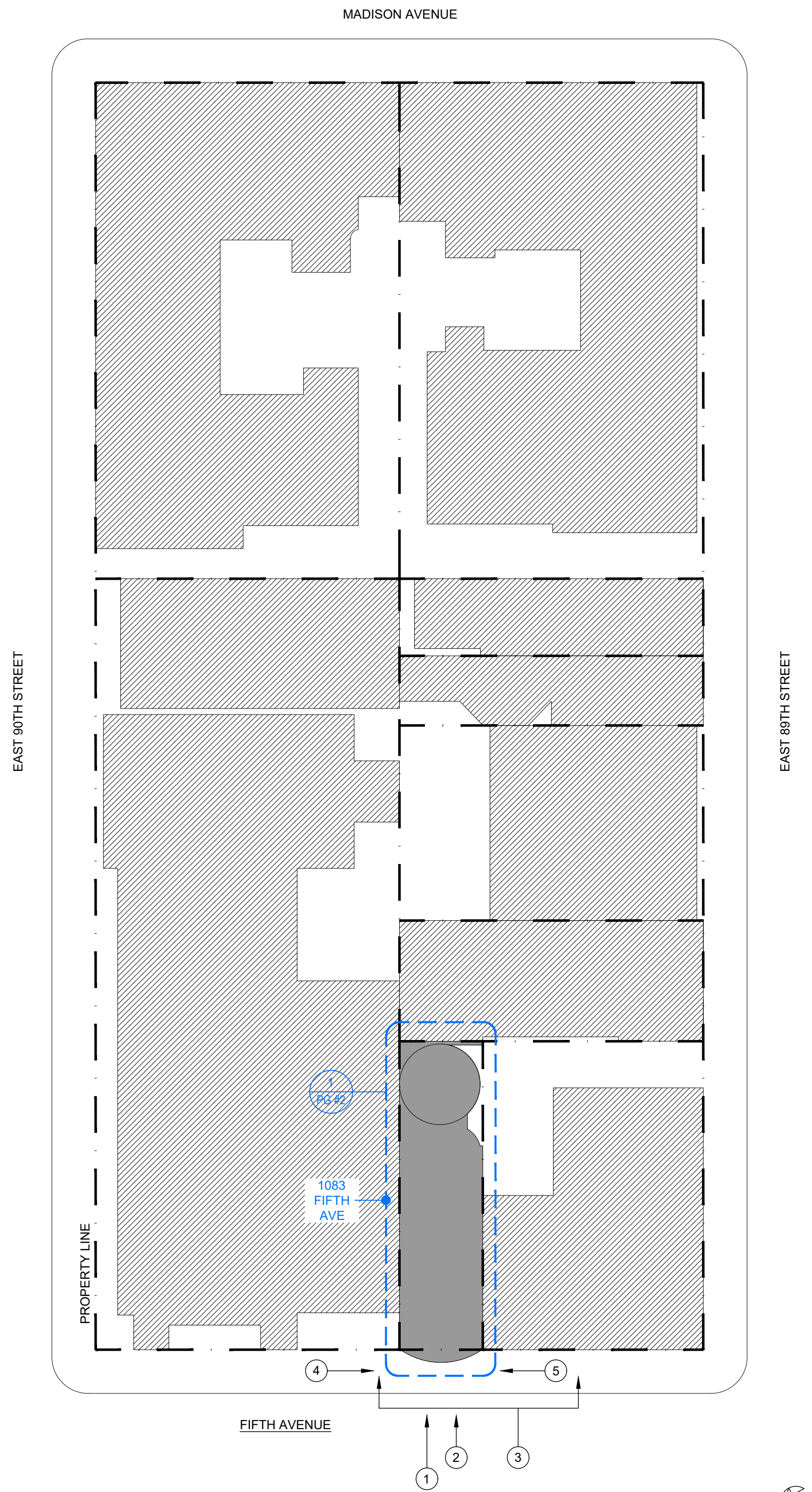
3 PARTIAL CLOSE-UP VIEW OF ENTRY AT 1083 FIFTH AVENUE & PLANTER WALL AT 1080 FIFTH AVENUE
Not to Scale



4 VIEW LOOKING SOUTH TOWARD 1080 FIFTH AVENUE PLANTER WALL BEYOND
Not to Scale



5 VIEW LOOKING NORTH FROM 1080 FIFTH AVENUE PLANTER WALL
Not to Scale



LOCATION PLAN
Not to Scale

PLAN
SHOWING LOCATION OF
PROPOSED STONE BALUSTRADE

TO BE LOCATED AT
1083 FIFTH AVENUE

BOROUGH OF MANHATTAN

TO ACCOMPANY APPLICATION DATED
SEPTEMBER 27, 2019

OF
JEFFREY R. KARP
OGDEN CODMAN LLC

TO THE
DEPARTMENT OF TRANSPORTATION
CITY OF NEW YORK

BY

Brian J. Connolly

BRIAN J. CONNOLLY, ARCHITECT

1083 FIFTH AVENUE
NEW YORK, NY 10128

ZONING INFORMATION:
BLOCK: 1501
LOT(S): 4
ZONING DISTRICT: R-10
ZONING MAP: 5D

CHARACTER OF MATERIALS:
APPROX. 34 LINEAR FEET OF LOW
LIMESTONE WALL WITH BRASS RAILING

COST OF INSTALLATION:
\$36,000

COST OF REMOVAL AND RESTORATION:
\$18,000

NOTE: PROPOSED IMPROVEMENTS
SHOWN IN RED

| | | |
|---|----------|---------------------------|
| | | |
| - | 12/09/19 | ISSUED TO CB8 (MANHATTAN) |
| - | 10/25/19 | ISSUED TO LPC |
| - | 09/27/19 | ISSUED TO DoT |

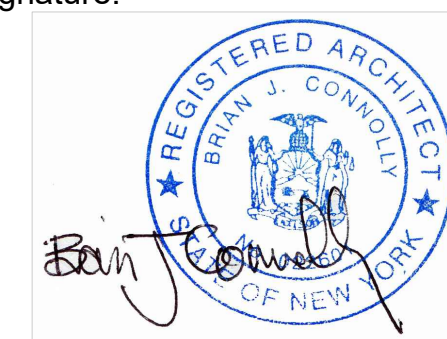
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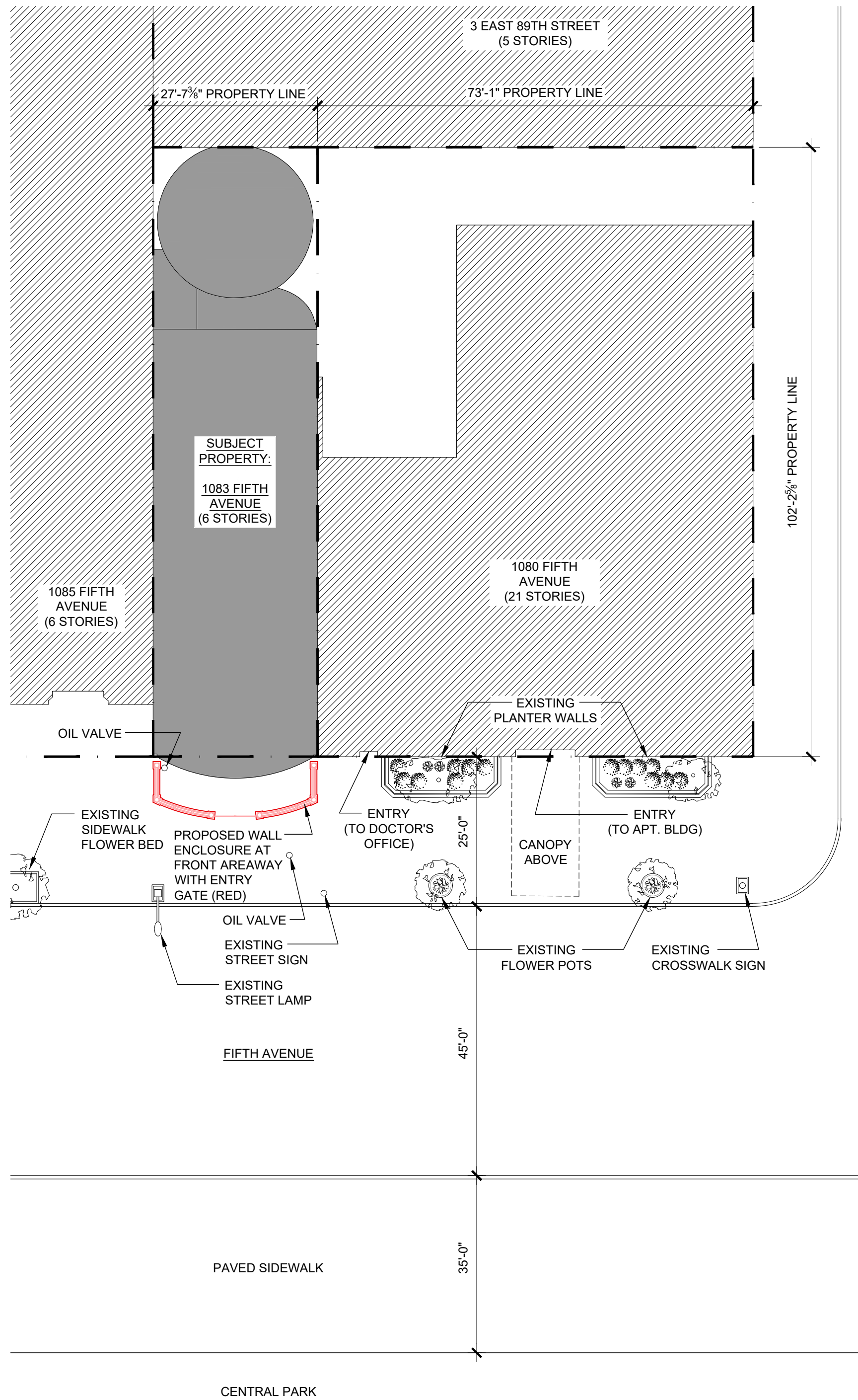
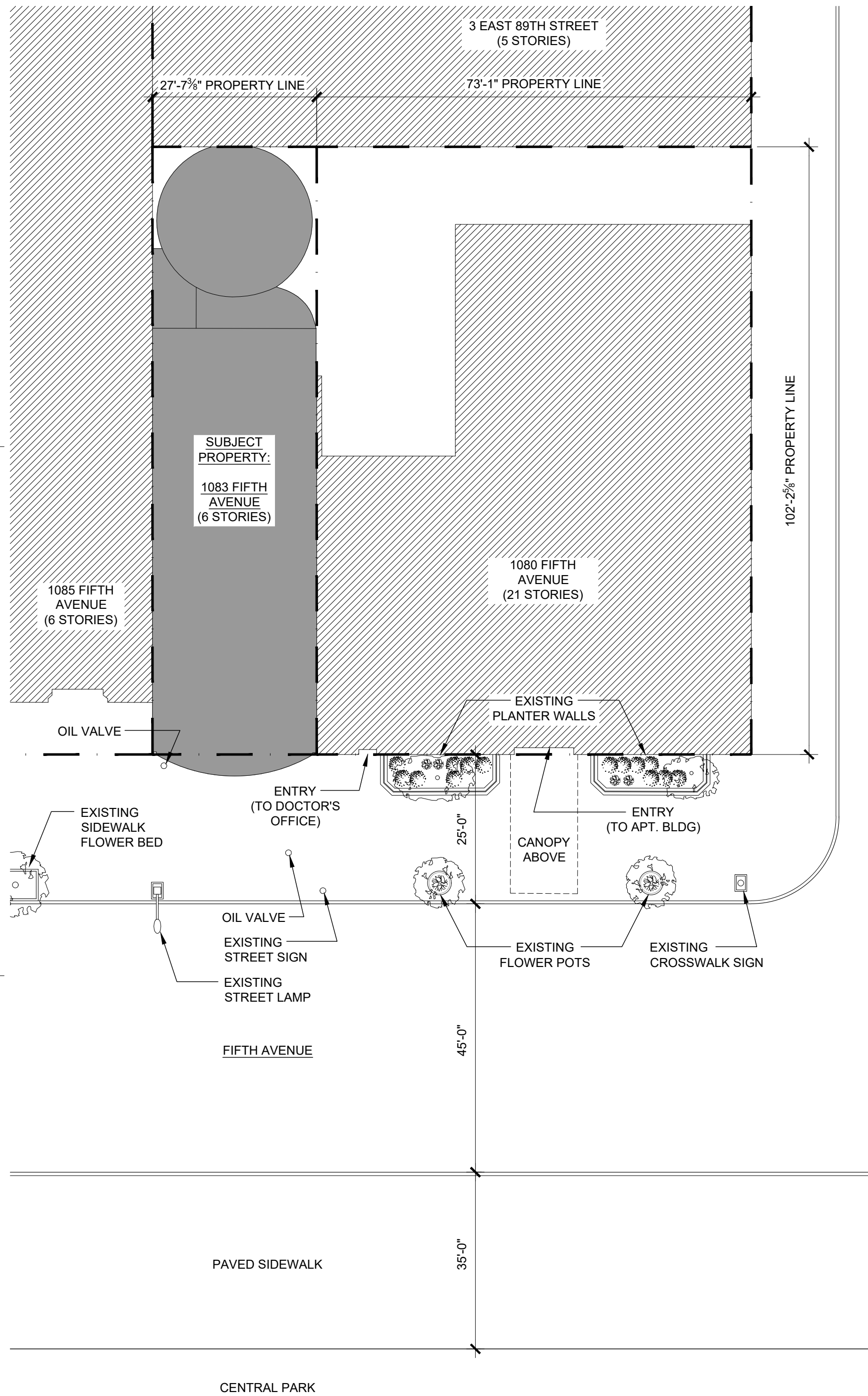
**ZIVKOVIC CONNOLLY
ARCHITECTS P.C.**

1133 Broadway,
Suite 1330
New York, NY 10010
212.807.8577
212.807.9575 fax

**BLOCK PLAN &
GENERAL PHOTOS**

Seal & Signature:





| | | |
|---|----------|---------------------------|
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EXISTING & PROPOSED SITE PLANS

Seal & Signature:

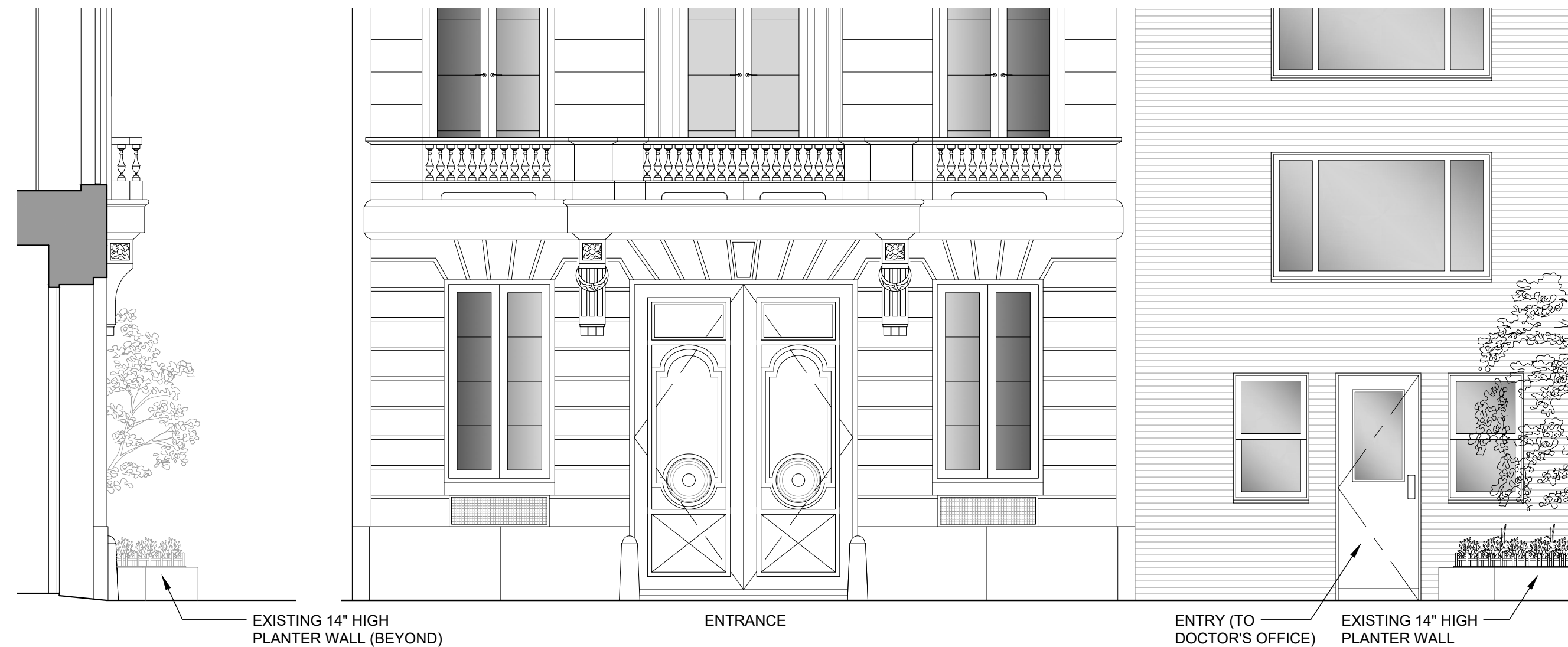


1 EXISTING SITE PLAN
Scale: 1/16" = 1'-0"

2 PROPOSED SITE PLAN
Scale: 1/16" = 1'-0"

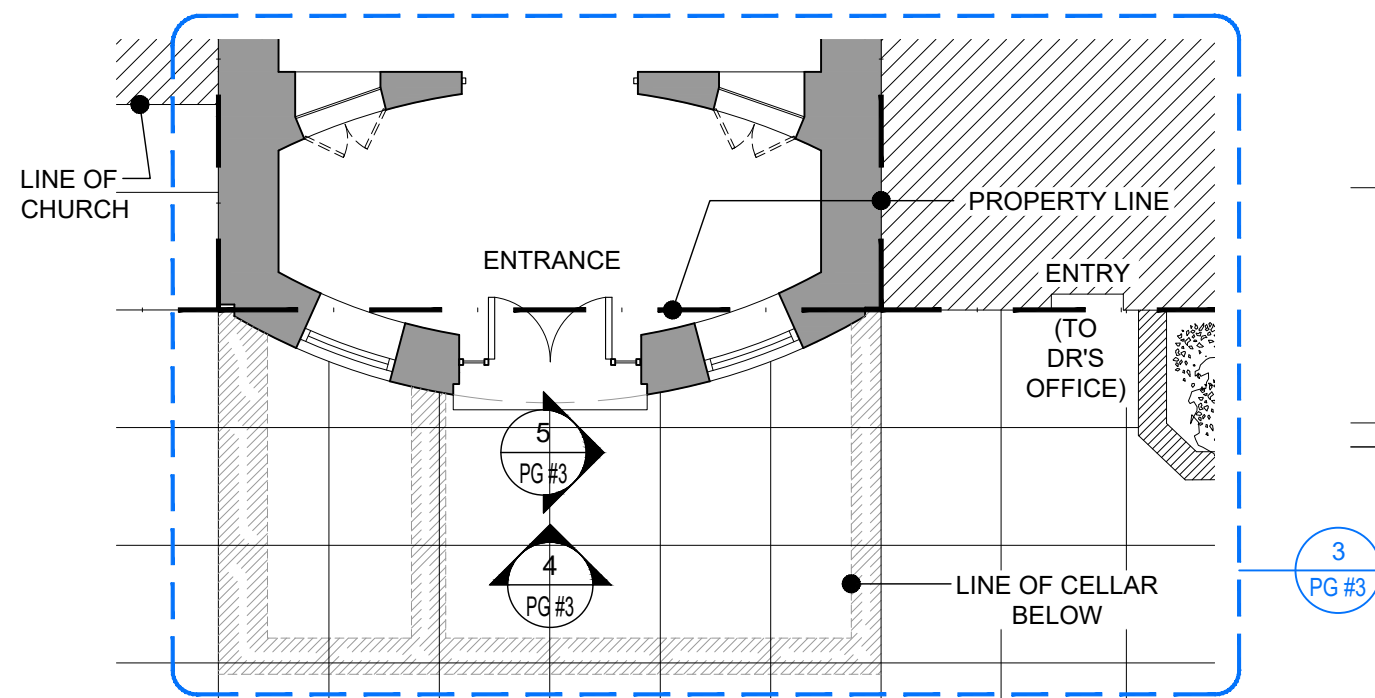


2 EXISTING FRONT ELEVATION
Scale : 1/8" = 1'-0"

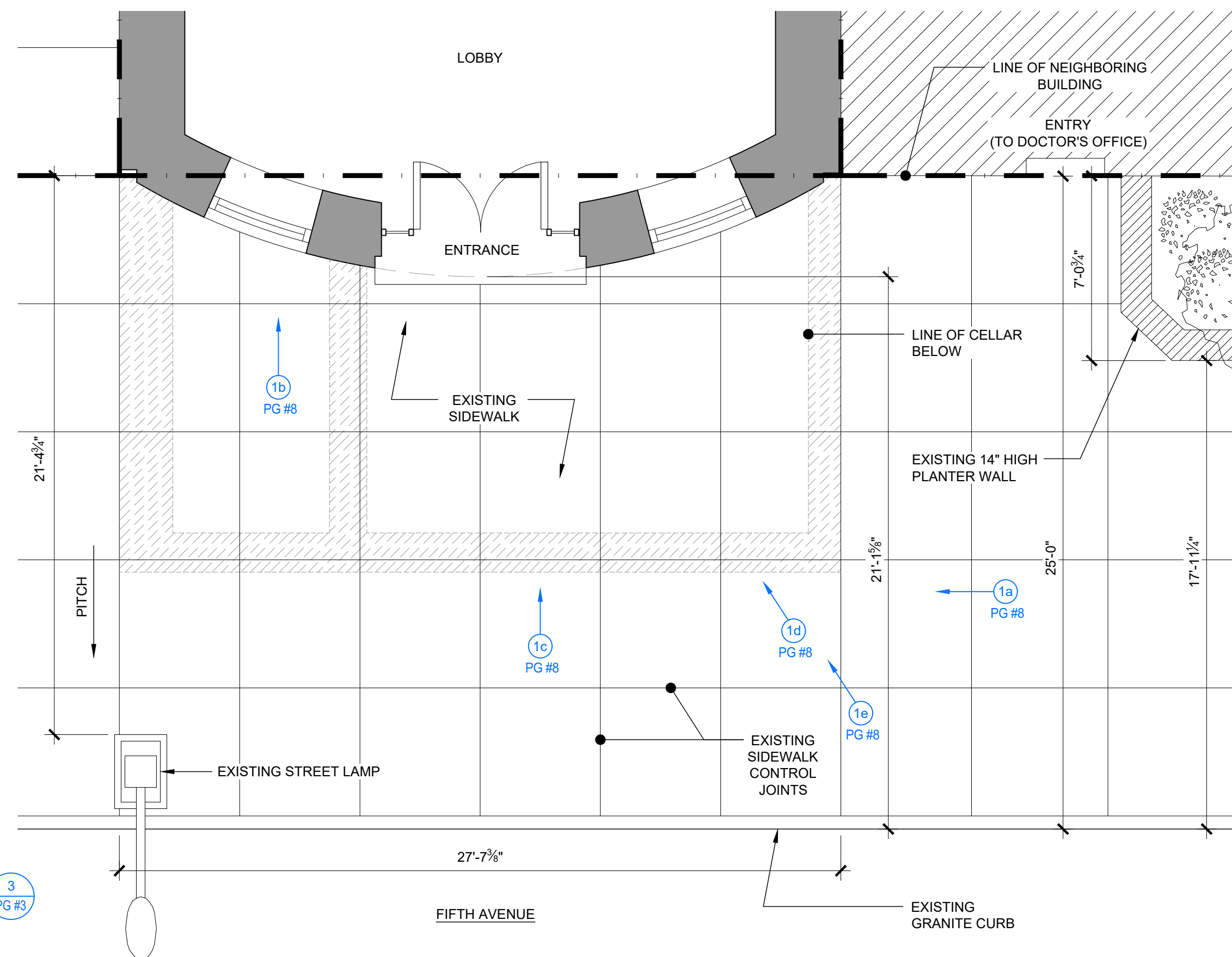


5 EXISTING PARTIAL SIDE ELEVATION
Scale : 1/4" = 1'-0"

4 EXISTING PARTIAL ELEVATION (ENLARGED)
Scale : 1/4" = 1'-0"



1 EXISTING PARTIAL PLAN
Scale : 1/8" = 1'-0"



3 EXISTING PARTIAL PLAN (ENLARGED)
Scale : 1/4" = 1'-0"

| Rev. | Date | Issue |
|------|----------|---------------------------|
| - | 12/09/19 | ISSUED TO CB8 (MANHATTAN) |
| - | 11/06/19 | ISSUED TO LPC |
| - | 10/25/19 | ISSUED TO LPC |
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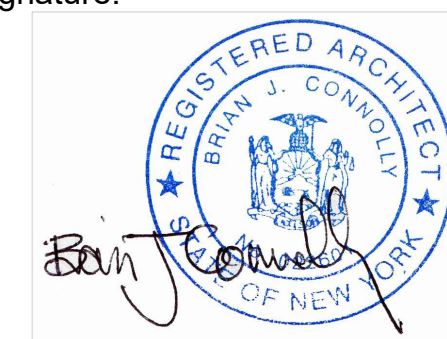
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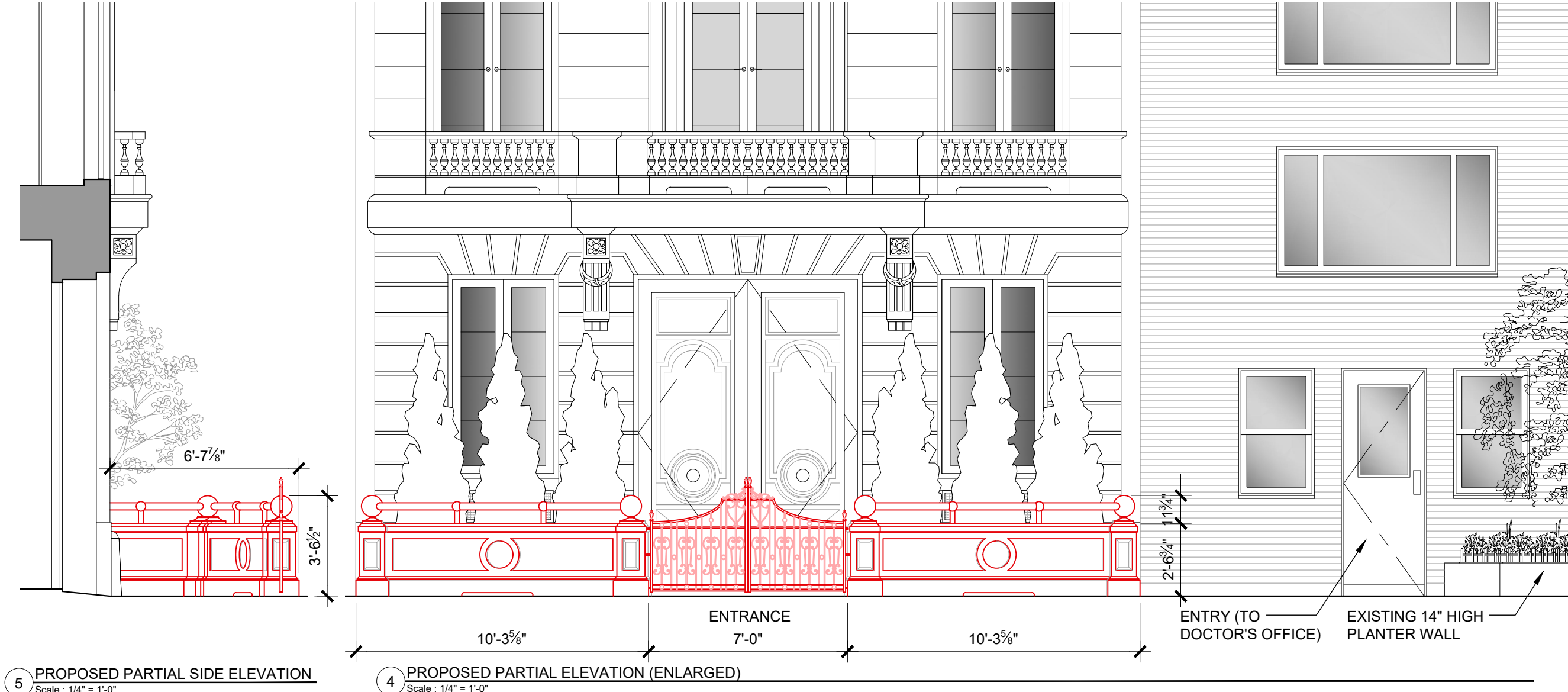
EXISTING AREA ENLARGEMENTS

Seal & Signature:

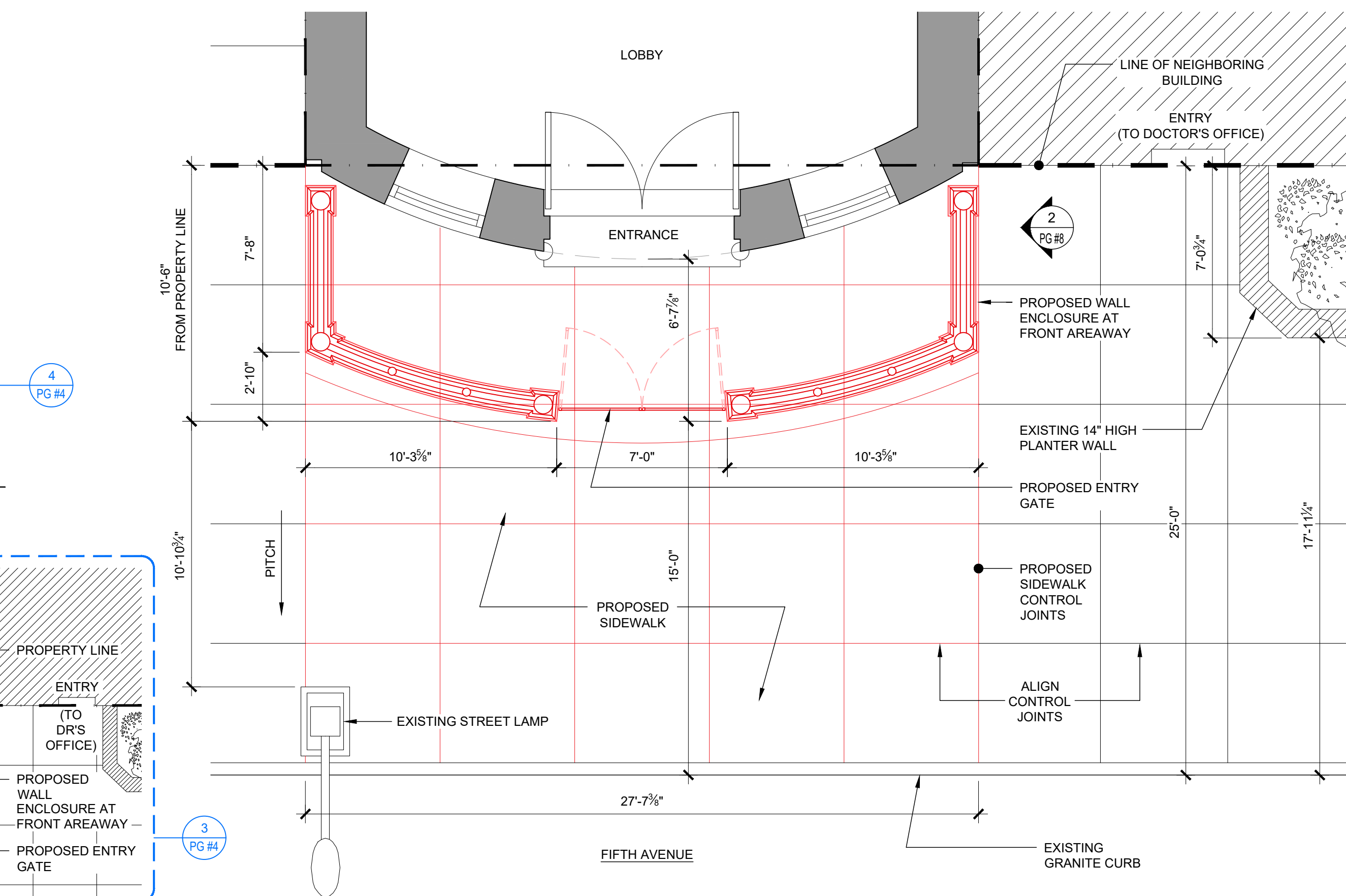




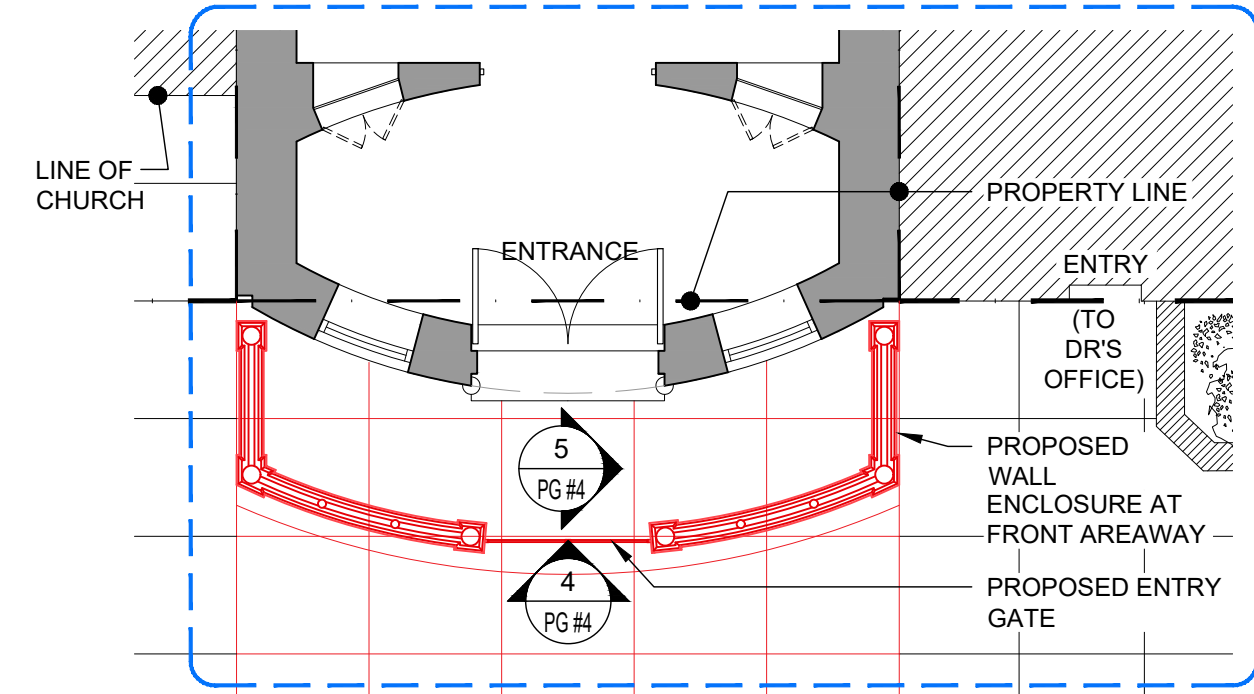
2 PROPOSED FRONT ELEVATION
Scale : 1/8" = 1'-0"



4 PROPOSED PARTIAL ELEVATION (ENLARGED)
Scale: 1/4" = 1'-0"



3 PROPOSED PARTIAL PLAN (ENLARGED)
Scale : 1/4" = 1'-0"



1 PROPOSED PARTIAL PLAN
Scale : 1/8" = 1'-0"

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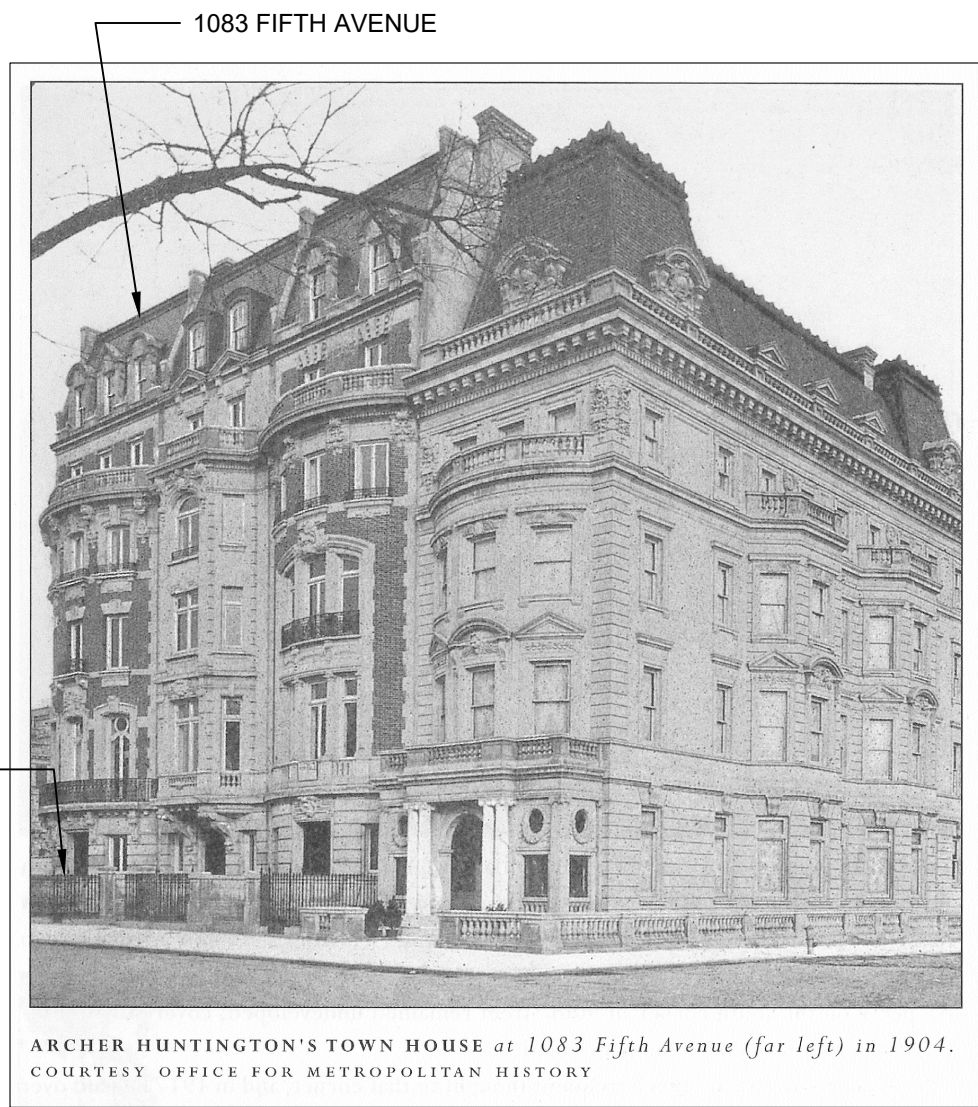
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PROPOSED AREA ENLARGEMENTS

Seal & Signature:

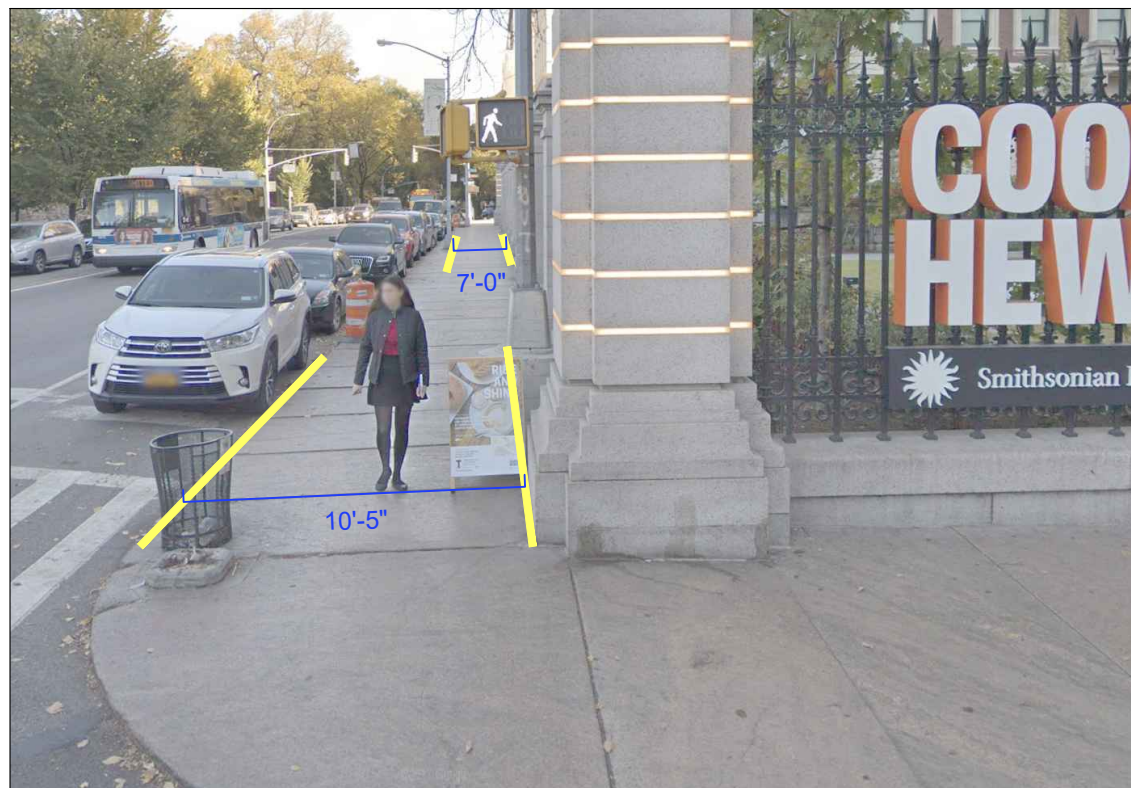




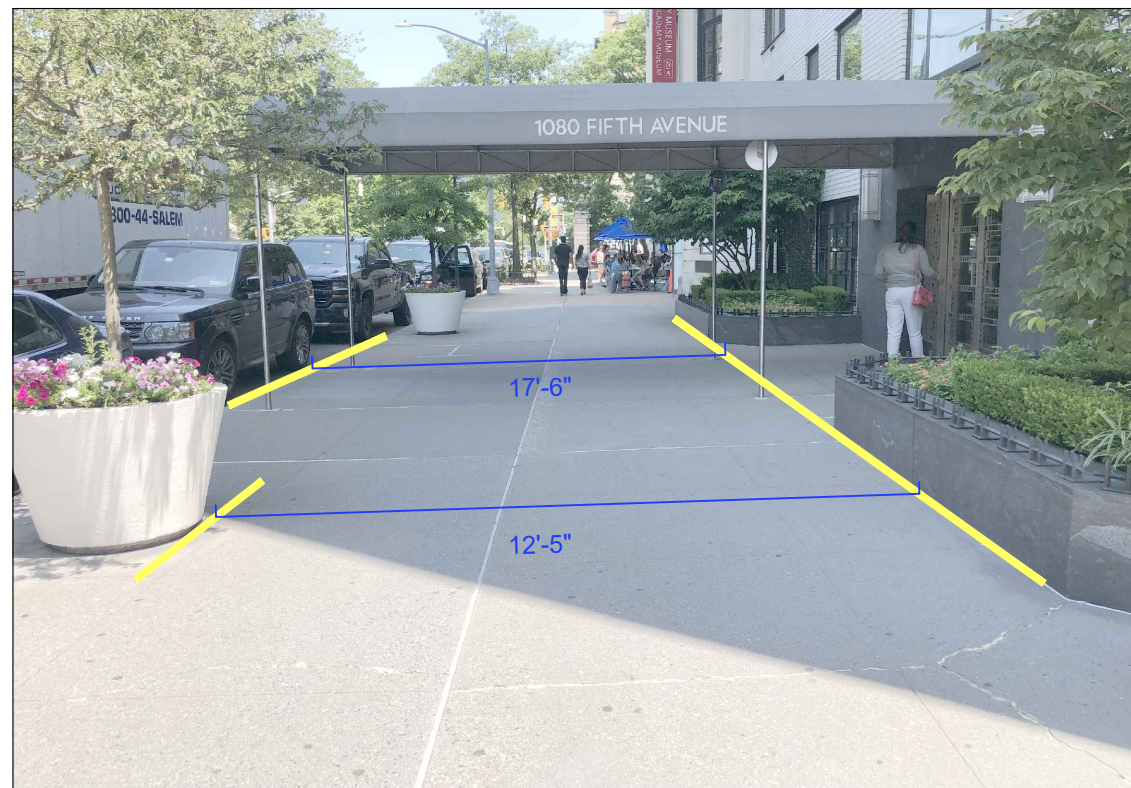
1 1083 FIFTH AVENUE - CIRCA 1904
Not to Scale



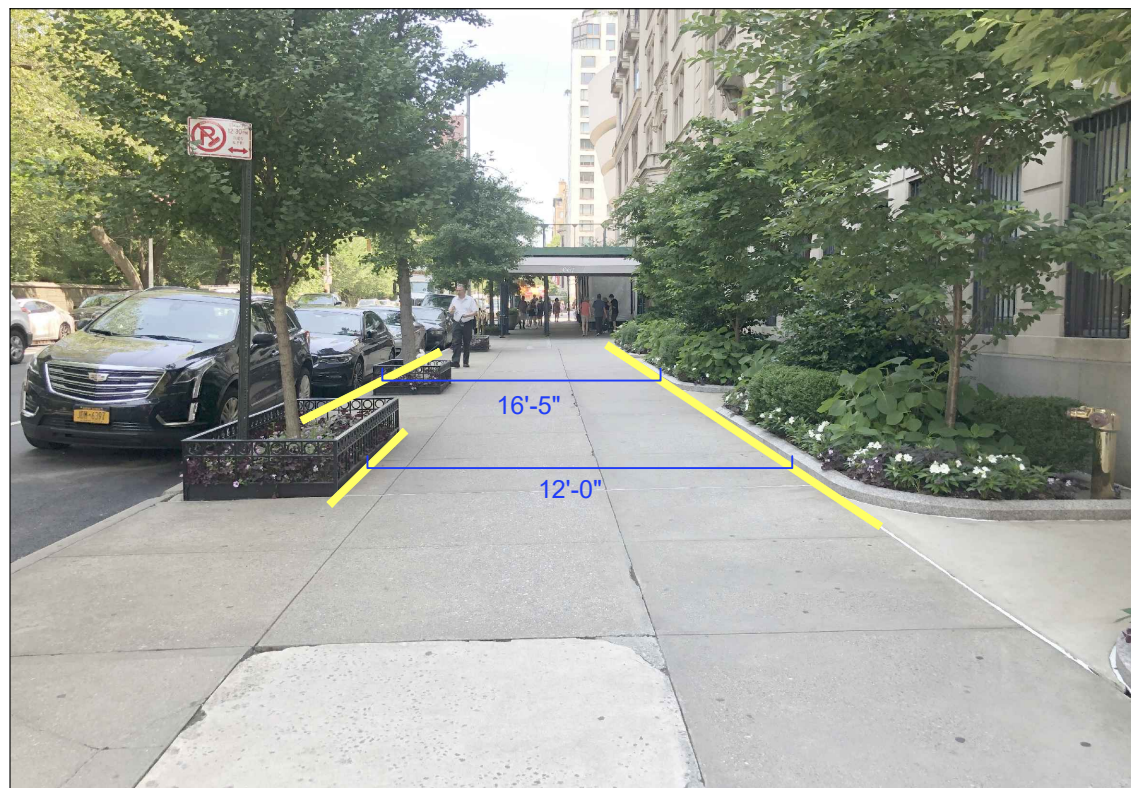
2 3D VIEW OF PROPOSED WALL ENCLOSURE AT FRONT AREAWAY WITH ENTRY GATE
Not to Scale



3 2 EAST 91ST STREET (COOPER HEWITT) - VIEW FROM SOUTH
Not to Scale



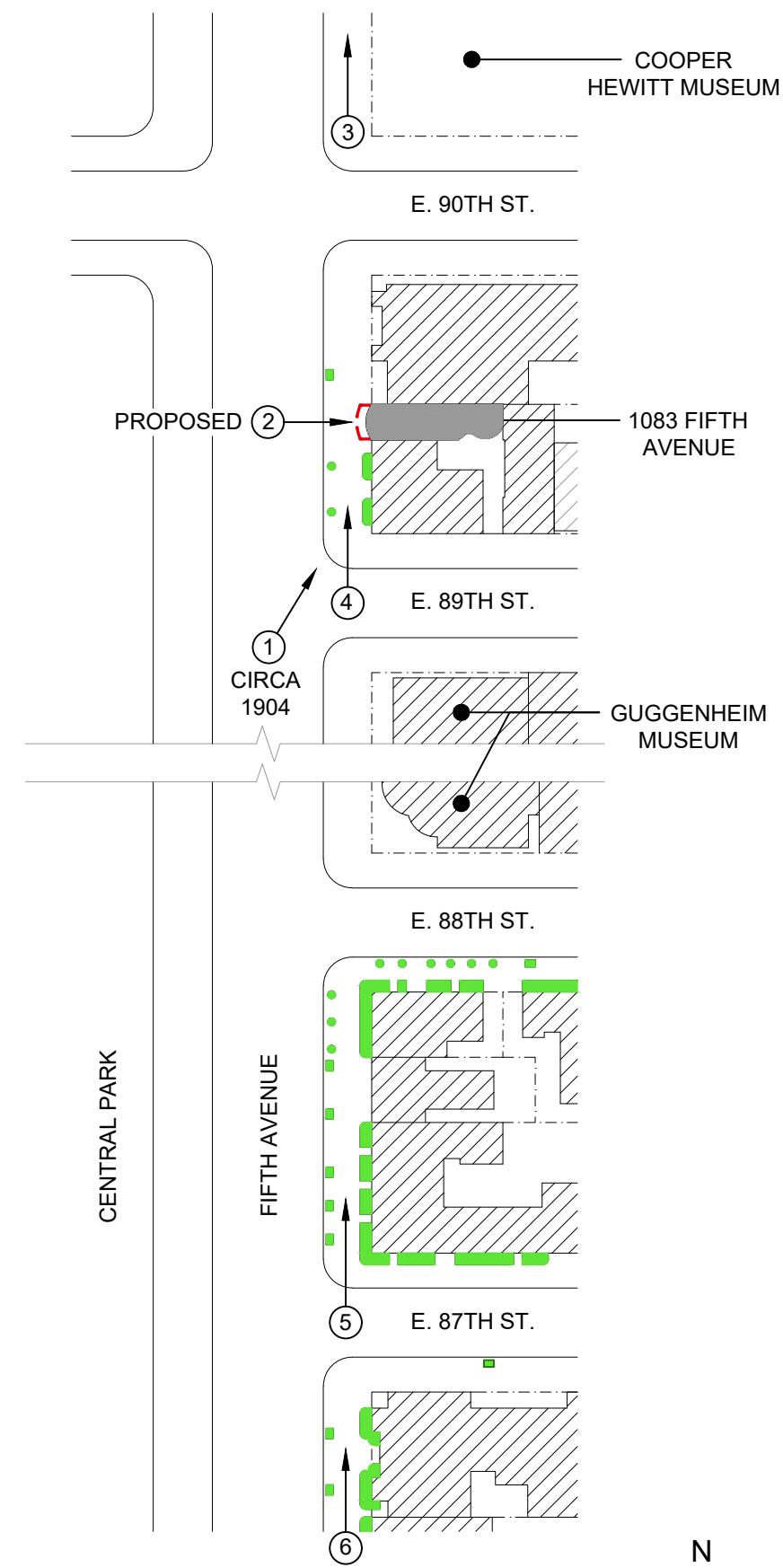
4 1080 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



5 1 EAST 87TH STREET - VIEW FROM SOUTH
Not to Scale



6 1056 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



KEY PLAN (DIAGRAM ONLY)
Not to Scale

| LEGEND FOR KEY PLAN | |
|---------------------|---|
| | EXISTING BUILDINGS |
| | EXISTING PLANTING AT NEIGHBORING FRONT/ SIDE AREAWAYS |
| | 1083 FIFTH AVENUE |
| | PROPOSED WALL ENCLOSURE AT FRONT AREAWAY |
| | PROPERTY LINE |
| | CORRESPONDING PHOTO |

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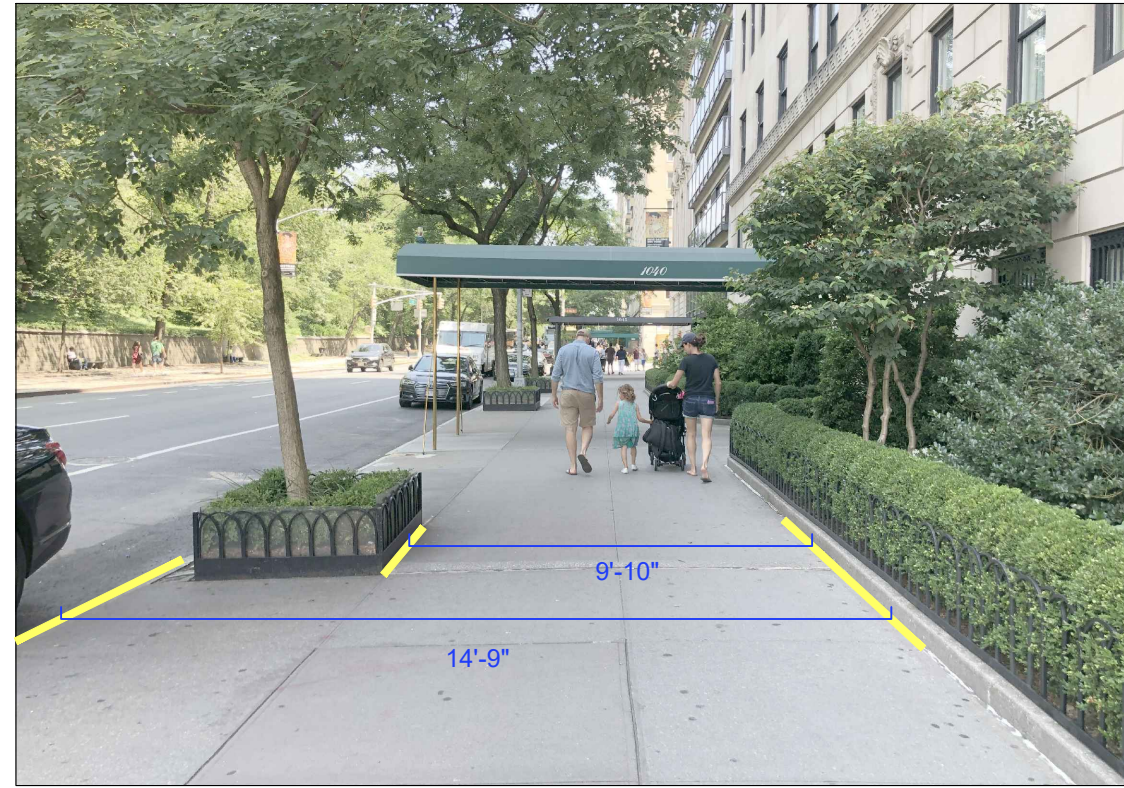
HISTORIC PHOTO, PROPOSED 3D VIEW & PRECEDENTS

Seal & Signature:





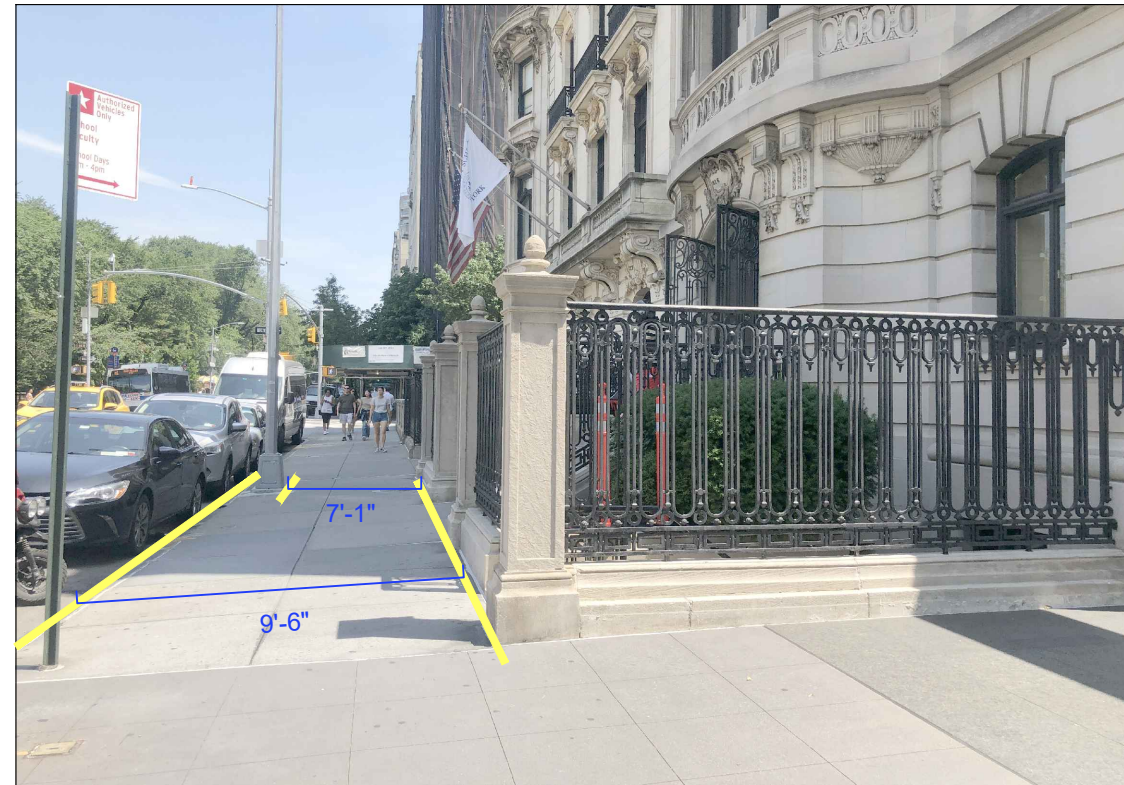
7 1050 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



8 1040 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



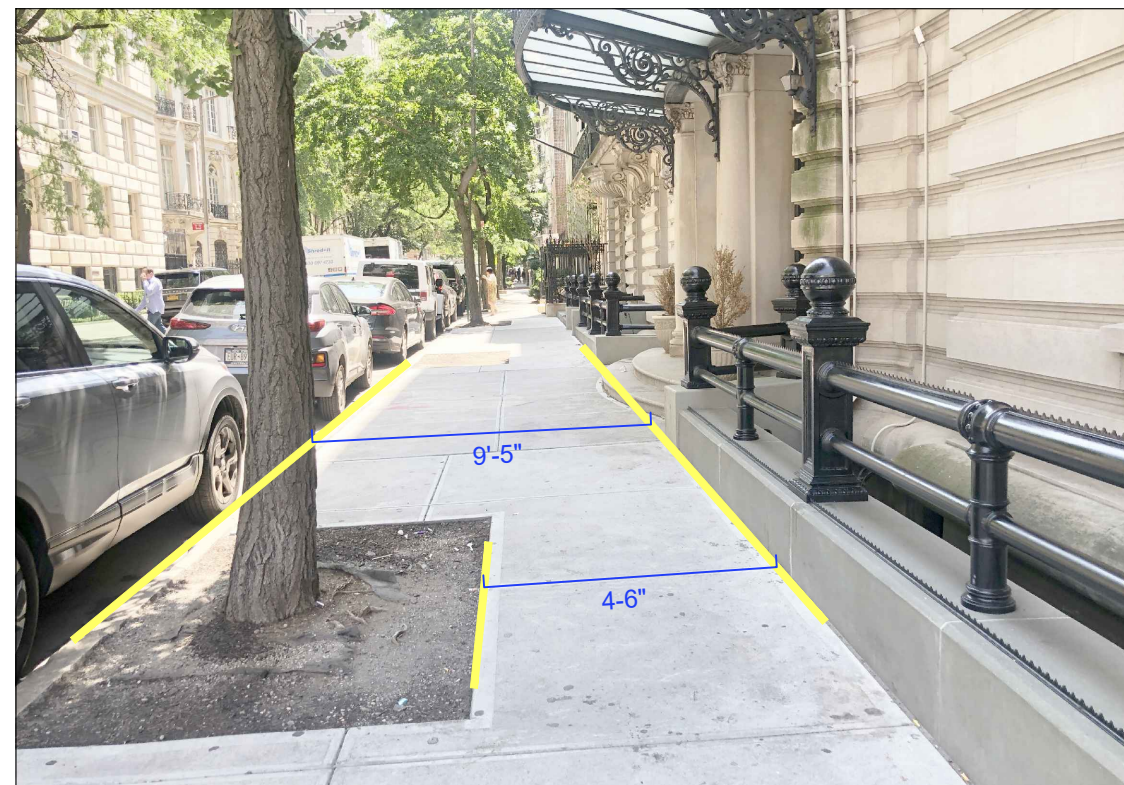
9 1035 FIFTH AVENUE - VIEW FROM NORTH
Not to Scale



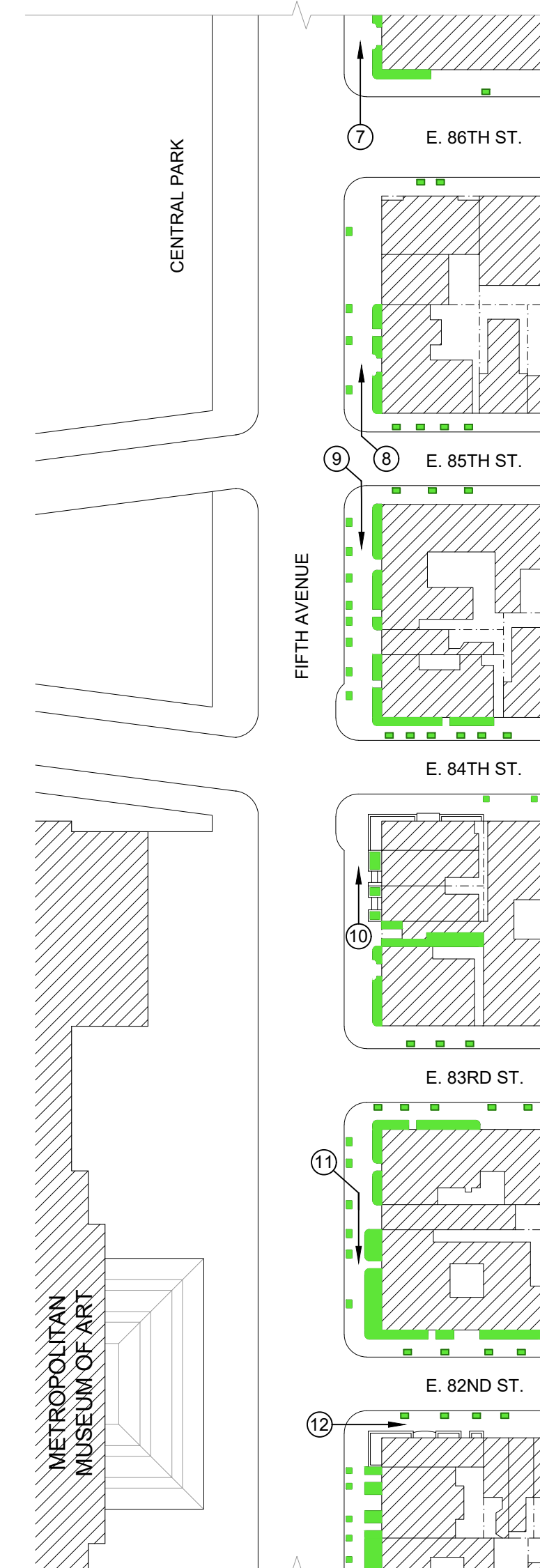
10 1026 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



11 1010 FIFTH AVENUE - VIEW FROM NORTH
Not to Scale



12 1009 FIFTH AVENUE - VIEW FROM WEST
Not to Scale



KEY PLAN (DIAGRAM ONLY)
Not to Scale

| LEGEND FOR KEY PLAN | |
|---------------------|---|
| | EXISTING BUILDINGS |
| | EXISTING PLANTING AT NEIGHBORING FRONT/ SIDE AREAWAYS |
| | 1083 FIFTH AVENUE |
| | PROPOSED WALL ENCLOSURE AT FRONT AREAWAY |
| | PROPERTY LINE |
| | CORRESPONDING PHOTO |

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PRECEDENTS FOR FIFTH AVENUE ENCROACHMENTS

Seal & Signature:



13 1009 FIFTH AVENUE - VIEW FROM NORTH
Not to Scale



14 1009 FIFTH AVENUE - VIEW FROM NORTH
Not to Scale



15 999 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



16 993 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



17 991 FIFTH AVENUE - VIEW FROM SOUTH
Not to Scale



18 988 FIFTH AVENUE - VIEW FROM NORTH
Not to Scale

| LEGEND FOR KEY PLAN | |
|---------------------|---|
| | EXISTING BUILDINGS |
| | EXISTING PLANTING AT NEIGHBORING FRONT/ SIDE AREAWAYS |
| | 1083 FIFTH AVENUE |
| | PROPOSED WALL ENCLOSURE AT FRONT AREAWAY |
| | PROPERTY LINE |
| | CORRESPONDING PHOTO |

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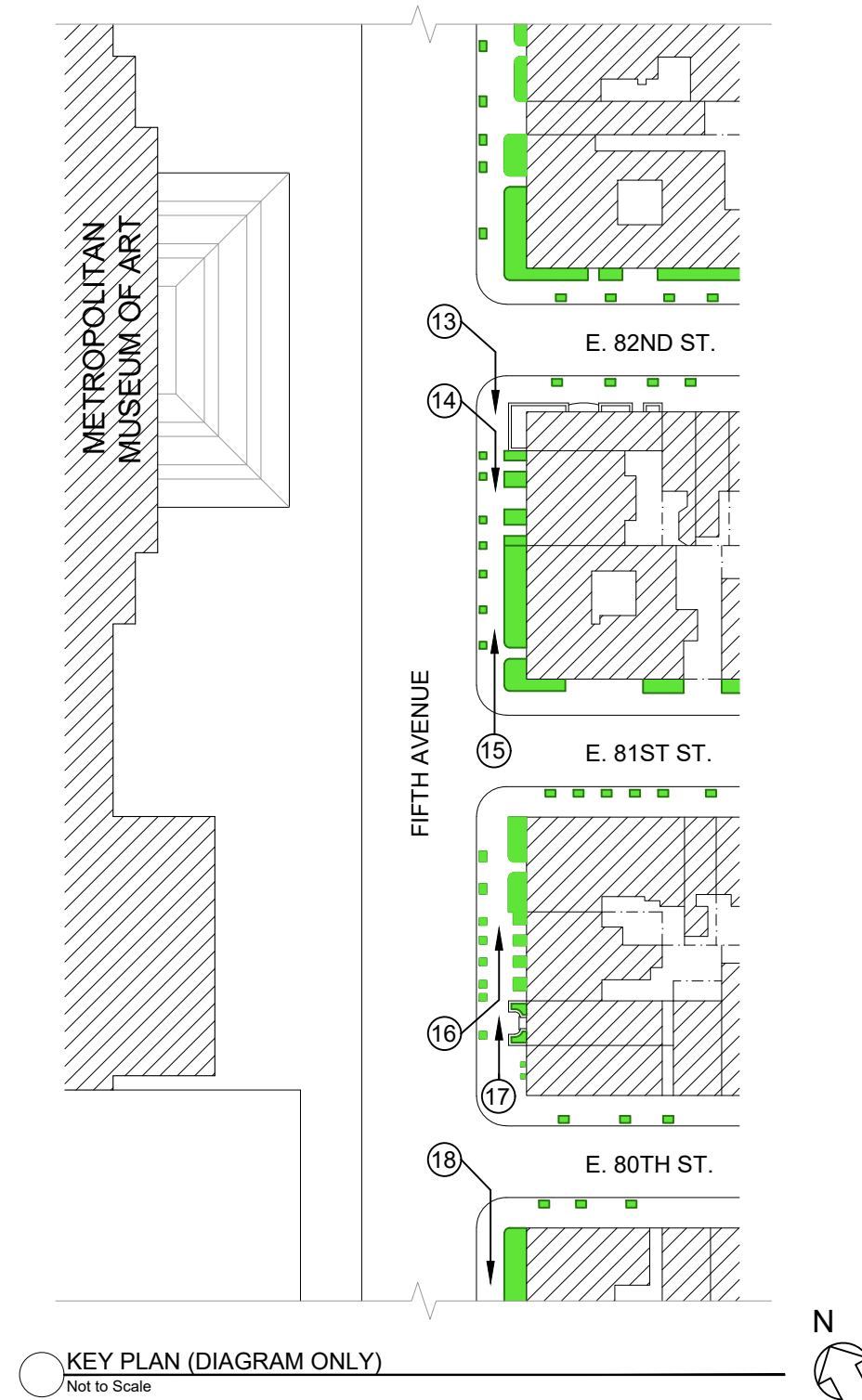
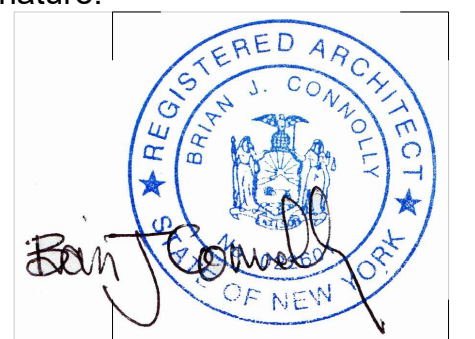
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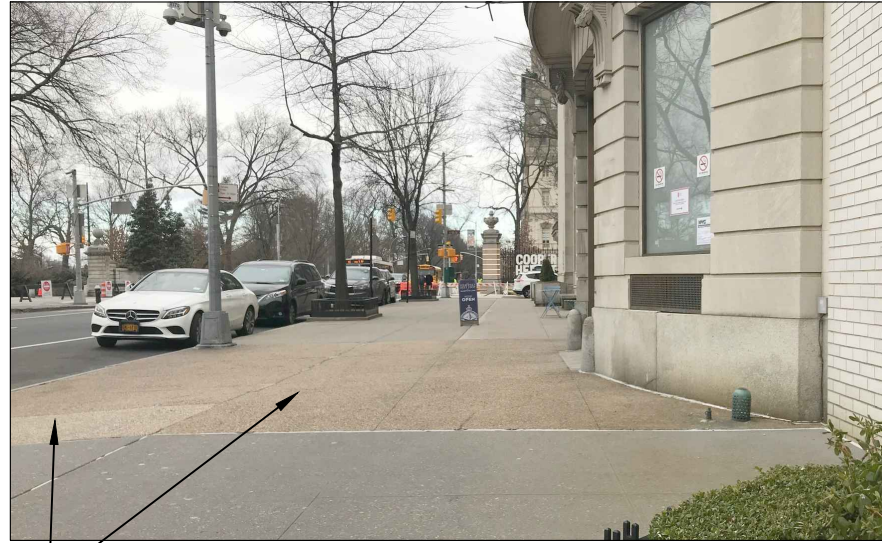
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PRECEDENTS FOR FIFTH AVENUE ENCROACHMENTS

Seal & Signature:



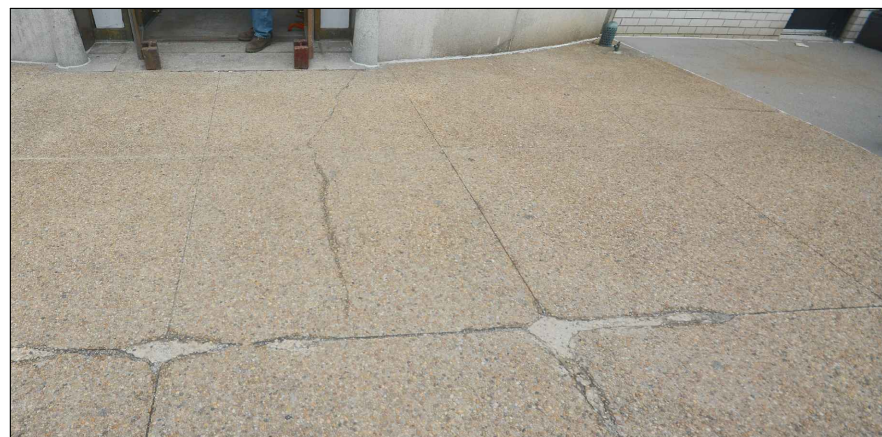


NOTE: DISCONTINUOUS, NON-HISTORIC SIDEWALK COLOR AT THIS BUILDING ONLY

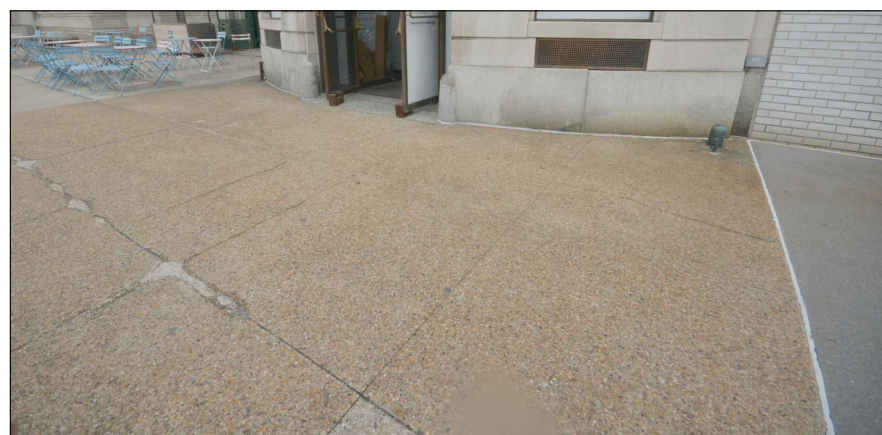
1a PHOTO OF EXISTING SIDEWALK (LOOKING NORTH)
Scale : 1/2" = 1'-0"



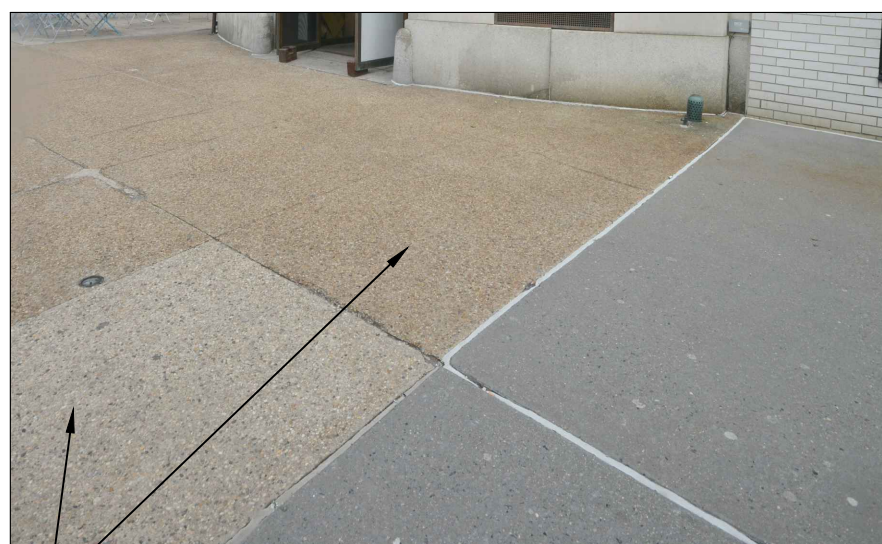
1b PHOTO OF EXISTING SIDEWALK AT FRONT FACADE
Scale : 1/2" = 1'-0"



1c PHOTO OF EXISTING SIDEWALK CRACKS & POOR REPAIRS
Scale : 1/2" = 1'-0"



1d PHOTO OF EXISTING SIDEWALK CRACKS
Scale : 1/2" = 1'-0"



NOTE: DISCONTINUOUS, NON-HISTORIC SIDEWALK COLOR WITH MISMATCHED PATCH

1e PHOTO OF EXISTING SIDEWALK
Scale : 1/2" = 1'-0"

FOR PHOTO OF EXISTING FRONT SIDEWALK AREAWAY

2
PG #1

3
PG #8

PROPOSED BRASS RAILING
PROPOSED LIMESTONE WALL ENCLOSURE

4
PG #8

6
PG #8

PITCH TO CURB

6'-7 7/8"

2 PROPOSED SIDEWALK SECTION & SIDE ELEVATION ON LOW WALL ENCLOSURE
Scale : 1/2" = 1'-0"

PROPOSED 4" CONCRETE SIDEWALK SLABS
6" GRAVEL, BROKEN STONE OR SAND AS PER STANDARD SPECIFICATION
1/4" PREFORMED JOINT FILLER; TOP 1" SEALER ON BOND BREAKER, TYP; FILL TO 1/8" OF TOP SURFACE

LINE OF EXISTING ROAD (FIFTH AVENUE)

EXISTING GRANITE CURB TO REMAIN

COMPACTED EARTH

3 PROPOSED SIDEWALK DETAIL
Scale : 1" = 1'-0"

PROPOSED 1/4" CONTROL JOINT; FOR LOCATIONS OF CONTROL JOINTS, SEE 3 / PG #4

PROPOSED 6" REINFORCED SLAB ON METAL DECK

PITCH TO CURB

ALIGN WITH ADJACENT SIDEWALK

SIDEWALK VAULT

4 PROPOSED SIDEWALK DETAIL
Scale : 1" = 1'-0"

PROPOSED 1/4" ISOLATION JOINT;
WATERPROOFING MEMBRANE

5 PROPOSED SIDEWALK DETAIL
Scale : 1" = 1'-0"

ALL MATERIALS & CONSTRUCTION METHODS USED ARE TO CONFORM WITH SECTION #4.13 OF THE NEW YORK CITY DEPARTMENT OF TRANSPORTATION STANDARD HIGHWAY SPECIFICATIONS.

| | | |
|---|----------|---------------------------|
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PROPOSED SIDEWALK & WALL DETAILS

Seal & Signature:



8
PG #8

PROPOSED BRASS RAILING

PROPOSED LIMESTONE CORNER CAP
PIECE BEYOND

PROPOSED LIMESTONE WALL

LINE OF PROPOSED SLOPED SIDEWALK

1 1/2" OPENING AT WALL BASE FOR DRAINAGE; REFER TO SECTION

8 PROPOSED LIMESTONE WALL DETAIL
Scale : 1" = 1'-0"

6 PROPOSED PARTIAL ELEVATION OF LIMESTONE WALL ENCLOSURE AT FRONT AREAWAY (TYPICAL)
Scale : 1" = 1'-0"

PROPOSED LIMESTONE WALL

9/4"

1'-0 1/4"

1'-0"

1'-3"

7 PROPOSED PARTIAL PLAN OF LIMESTONE WALL ENCLOSURE AT FRONT AREAWAY (TYPICAL)
Scale : 1" = 1'-0"

PROPOSED LIMESTONE CORNER CAP
PIECE BEYOND

PROPOSED BRASS RAILING

9 PROPOSED TOP VIEW OF PLAN
Scale : 1" = 1'-0"