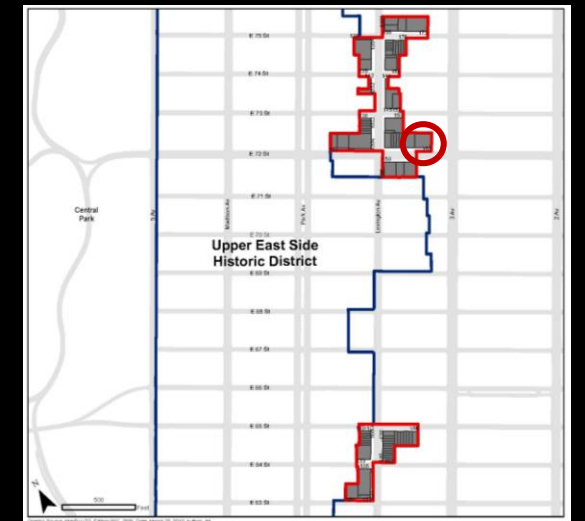


157 East 72nd St
Window
Replacement
Program

- Draft Presentation in Preparation for Hearing
Date July 23, 2019
- MVN Architect LLC June 25, 2019
- LPC Docket # LPC-19-34429



Existing Conditions South/Primary Facade

South Façade
December 2008



North Façade
March 2009



West Façade
December 2008



East Façade
December 2008



Purpose of this Hearing

- MVN Architect LLC is filing a Window Replacement Master Plan on behalf of the board of 157 East 72nd
 - to expedite future window replacements to be performed at the resident's discretion
 - to provide a uniform standard to which all future window replacements at the building must abide by
- Currently, side and rear façade bathroom windows have textured obscured glass within wood frames with the texture applied to the interior surface of the interior lite
- Currently, the street facing bathroom windows have textured obscured glass, applied to the interior surface of the interior lite, within aluminum frames that were installed in the 1990's
- The residents wish to maintain this feature under the master plan to promote uniformity of the facade
- Because historic photographs that clearly show the surface of the glazing cannot be found, the LPC cannot approve the use of textured obscured glass on the street façade at staff level
- MVN intends to demonstrate that textured obscured glazing at bathroom windows located on street fronting facades in the district will not detract from the existing character of the historic district.

Building Context



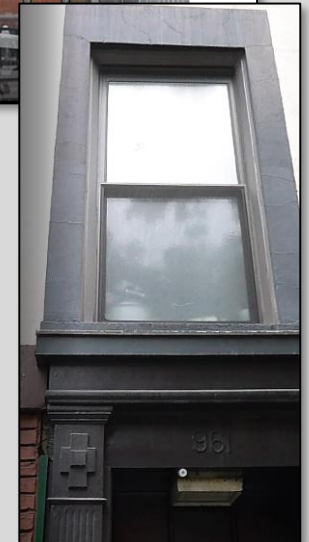
South Façade - Existing



North Façade - Existing

District Context

961 Lexington Avenue,
SE Corner of Lexington and 70th



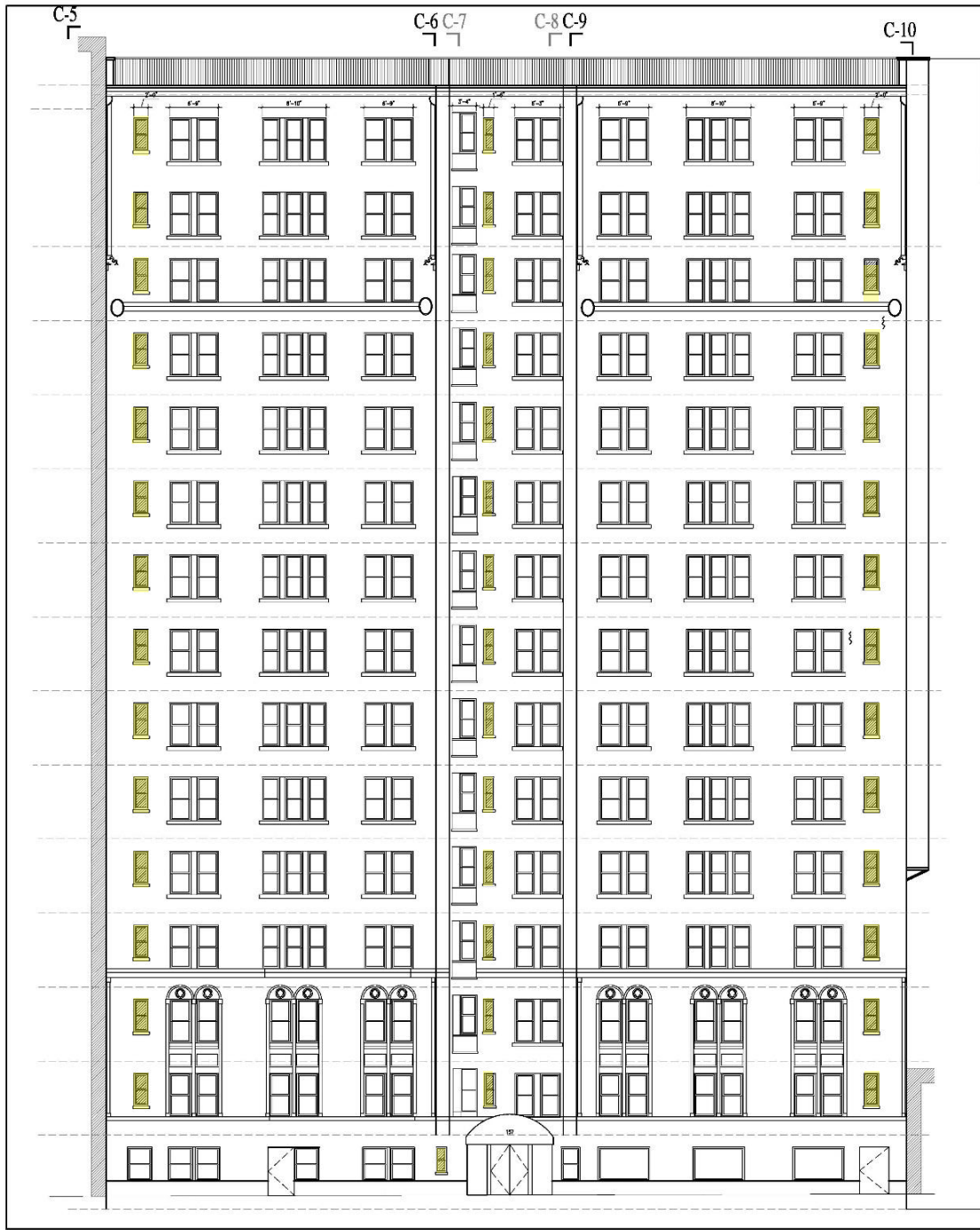
District Context

1022 Lexington Avenue,
SW Corner of Lexington and 73rd





Designated Windows



WINDOW SCHEDULE				
WINDOW TYPE	GLAZING TYPE	WINDOW SCREEN?	QUANTITIES	REMARKS
A	CLEAR	Y	136	—
A.1	FROSTED	Y	131	—
B	CLEAR	Y	147	—
C	CLEAR	Y	127	—

**SOUTH ELEVATION
(EXISTING AND PROPOSED)**

1 SCALE: 1/8" = 1'-0"

Architect

MVN ARCHITECT, LLC
39-39 29th Street
Long Island City, NY 11101
tel: 718-482-8190 fax: 718-381-2153
website: www.mvnarchts.com email: info@mvnarchts.com

Project

WINDOW MASTER PLAN
157 EAST 72ND STREET
NEW YORK, NY 10021

NUMBER	DATE	REVISION

KEY PLAN (NOT TO SCALE)

ADDRESS: 157 EAST 72ND STREET,
MANHATTAN, NY 10021

BLOCK: 1407

LOT: 7501

DOB BIN#: 1042881

NUMBER	DATE	ISSUE

Drawing Title

**SOUTH ELEVATION
"A","C"&"E"**

Job No.: 08-41E

Date: OCTOBER 12, 2018

Scale:

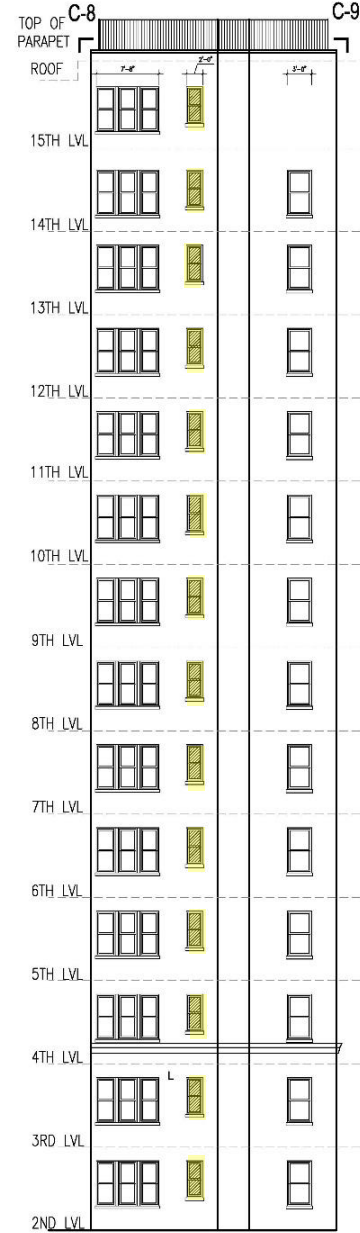
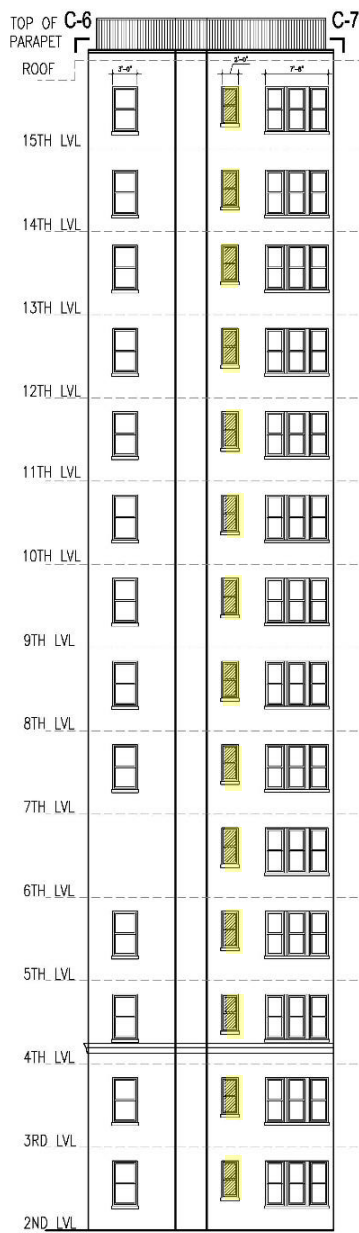
Drawn by: S.A.

Seal:

Dirg. No.:
A-201.00

Page No: 02 of 09

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WINDOW SCHEDULE				
WINDOW TYPE	GLAZING TYPE	WINDOW SCREEN?	QUANTITIES	REMARKS
A	CLEAR	Y	138	-
A.1	FROSTED	Y	131	-
B	CLEAR	Y	147	-
C	CLEAR	Y	127	-

1 SOUTH COURT ELEVATION
EXISTING AND PROPOSED
SCALE: 1/8" = 1'-0"

Architect
MVN ARCHITECT, LLC
39-39 29th Street
Long Island City, NY 11101
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Project
WINDOW MASTER PLAN
157 EAST 72ND STREET
NEW YORK, NY 10021

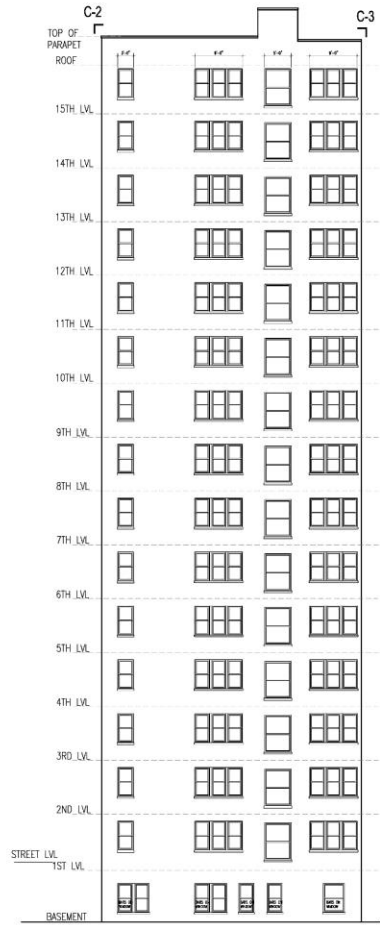
NUMBER	DATE	REVISION

KEY PLAN (NOT TO SCALE)
ADDRESS: 157 EAST 72ND STREET, MANHATTAN, NY 10021
BLOCK: 1407
LOT: 7501
DOB BNP: 1042881

NUMBER	DATE	ISSUE

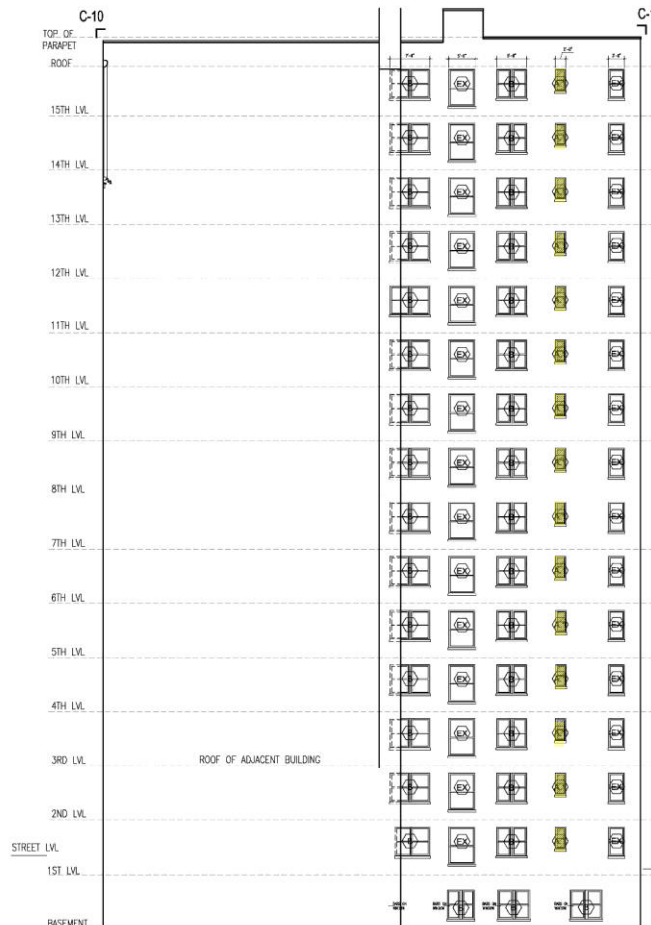
Drawing Title
SOUTH ELEVATION
"A", "C" & "E"

Job No.: 08-41E
Date: OCTOBER 12, 2018
Scale:
Drawn by: S.A.
Seal:
Dwg. No.: **A-202.00**
Page No.: 03 of 09
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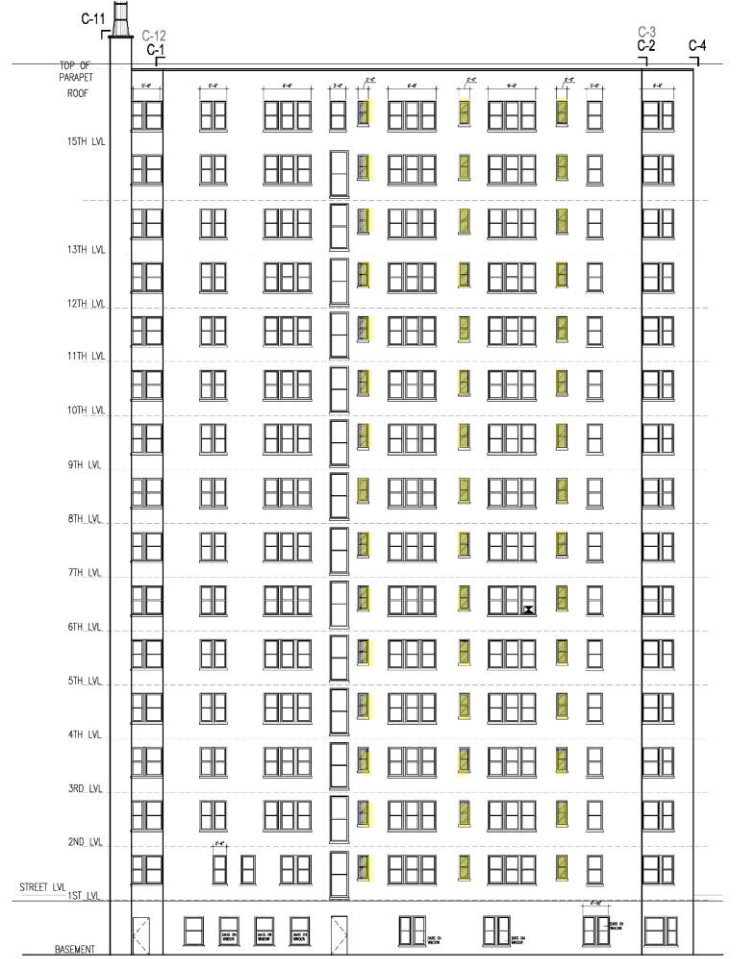
WEST COURT ELEVATION
(EXISTING AND PROPOSED)

SCALE: 1/8" = 1'-0"



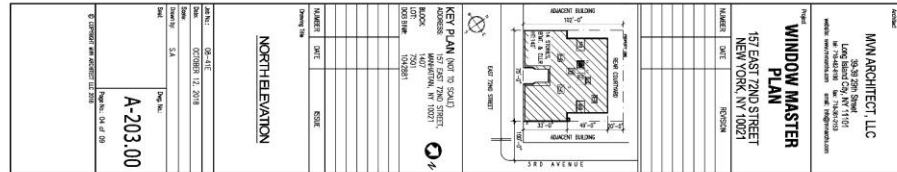
EAST COURT ELEVATION
(EXISTING AND PROPOSED)

SCALE: 1/8" = 1'-0"



NORTH ELEVATION
(EXISTING & PROPOSED)

SCALE: 1/8" = 1'-0"



Proposed Framing



Original Paint Color



Proposed Paint Color

Benjamin Moore Espresso Bark CSP-390
(color rendering pulled from
benjaminmoore.com)



Proposed Pan Profile

(sample is not painted with proposed color)

Proposed Glazing



RAIN

DEW DROP

GRANITE

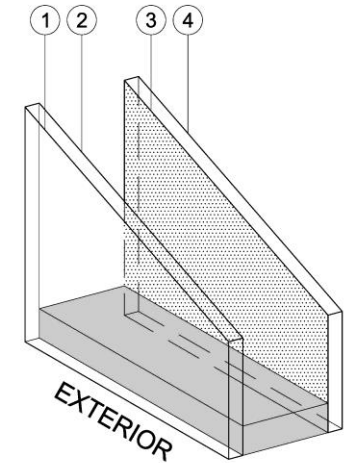


GRANITE

DEW DROP

RAIN

Proposed Glazing Treatment
(Textured Obscured Glazing at 3rd surface of IGU)



Texture Obscured Glazing to be located at the 3rd surface of IGU to maintain existing reflective characteristics of windows but provide enhanced privacy for residents. LPC preferred textures shown to the left.


Existing Conditions



Existing Glazing

(The existing frosted glazing is difficult to distinguish from the clear glazing)

2019/04/22

A thin vertical black line is positioned to the left of the text.

LPC Application Package

STAFF USE ONLY			
LPC DOCKET #:	DATE RECEIVED:	STAFF:	
ACTION: PMW ONE COFA REPORT OTHER:			
WORK TYPE:			

APPLICATION FORM FOR WORK ON DESIGNATED PROPERTIES

INSTRUCTIONS FOR FILING

A complete application includes this form ("Application Form") and materials needed to describe the project and its effect on the landmark property. Please read the instructions of this form carefully, and provide all the information requested for ALL 8 sections. LPC staff uses this information to determine if the application meets LPC's rules for approval by staff or will require a review by the Full Commission at a Public Hearing. Failure to submit complete applications with required materials will result in delays in the review and processing of your application.

Filing may be done by mail or in person to:

ATTN: New Applications, Municipal Building, 1 Centre Street, 9th Floor North, New York, NY 10007.

I. PROPERTY INFORMATION

ADDRESS: 157 East 72nd Street				FLOOR/APT. #: NA
BOROUGH: Manhattan	BLOCK: 1407	LOT: 07501	COMMUNITY BOARD: 108	ZONING: NA

II. PROPOSED WORK (CHECK ALL THAT APPLY)

INTERIOR ALTERATIONS	<input type="checkbox"/> INTERIOR ALTERATIONS <input type="checkbox"/> PLACE OF ASSEMBLY, NO WORK PROPOSED
RESTORATION & OTHER FACADE WORK	<input type="checkbox"/> RECREATE MISSING ARCHITECTURAL FEATURES
	<input type="checkbox"/> LL11 EXTERIOR REPAIRS (check all that apply): <input type="checkbox"/> Street facade <input type="checkbox"/> Side or rear facade/roof
HEATING, VENTILATION & AIR CONDITIONING EQUIPMENT	<input type="checkbox"/> OTHER EXTERIOR REPAIRS (check all that apply): <input type="checkbox"/> Street facade <input type="checkbox"/> Side or rear facade/roof
	<input type="checkbox"/> WINDOW/HVAC EQUIPMENT: <input type="checkbox"/> Street facade <input type="checkbox"/> Rear or side facade
	<input type="checkbox"/> THRU-WALL HVAC EQUIPMENT: <input type="checkbox"/> Street facade <input type="checkbox"/> Rear or side facade
WINDOW & DOOR WORK	<input type="checkbox"/> OTHER MECHANICAL EQUIPMENT <input type="checkbox"/> Wall mounted <input type="checkbox"/> Yard <input type="checkbox"/> Roof <input type="checkbox"/> Exterior Generator
	<input type="checkbox"/> REPLACE WINDOWS (check all that apply): <input type="checkbox"/> Street facade <input type="checkbox"/> Rear or side facade
	<input type="checkbox"/> NEW WINDOW OPENING (check all that apply): <input type="checkbox"/> Street facade <input type="checkbox"/> Rear or side facade
ADDITIONS & NEW CONSTRUCTION	<input type="checkbox"/> REPLACE DOOR (NEW) or MODIFY DOOR
	<input type="checkbox"/> ROOFTOP ADDITION (check all that apply): <input type="checkbox"/> Mechanical Equipment, Stair or Elevator Bulkhead <input type="checkbox"/> Occupiable <input type="checkbox"/> Solar
	<input type="checkbox"/> REAR YARD ADDITION (check all that apply): <input type="checkbox"/> Deck <input type="checkbox"/> Occupiable <input type="checkbox"/> New Building
STOREFRONTS	<input type="checkbox"/> INFILLS <input type="checkbox"/> LIGHTING <input type="checkbox"/> SIGNAGE <input type="checkbox"/> AWNINGS <input type="checkbox"/> SECURITY GATE
EXCAVATIONS, SIDEWALKS AND SITEWORK	<input type="checkbox"/> EXCAVATION (check all that apply): <input type="checkbox"/> Underpinning <input type="checkbox"/> No Underpinning
	<input type="checkbox"/> SIDEWALK PAVING (check all that apply): <input type="checkbox"/> Concrete <input type="checkbox"/> Stone <input type="checkbox"/> Tree Pit
	<input type="checkbox"/> SUBSURFACE UTILITIES (check all that apply): <input type="checkbox"/> Residential <input type="checkbox"/> Other
OTHER	<input type="checkbox"/> STREET PAVING/STREET BEDWORK
	<input type="checkbox"/> TEMPORARY INSTALLATIONS: <input type="checkbox"/> Sign <input type="checkbox"/> Other
	<input type="checkbox"/> NEW UNENCLOSED SIDEWALK CAFÉ <input type="checkbox"/> SIDEWALK CAFÉ LICENSE
	<input type="checkbox"/> LEGALIZE OR CORRECT LPC VIOLATION <input type="checkbox"/> FENCES AND GATES
	<input type="checkbox"/> BARRIER FREE ACCESS (ADA) <input type="checkbox"/> OTHER (Describe):

III. ADDITIONAL INFORMATION

Are you filing to correct or legalize work done without an LPC permit? ☒ NO ☐ YES If Yes, Warning Letter/NOV#: _____

Are you filing for a signoff or to amend a permit? ☒ NO ☐ YES If Yes, Docket#: _____

Are you applying to any of the following? ☒ NO ☐ Dept. Of Buildings ☐ City Planning ☐ Board of Standards and Appeals

Is there a facade easement on the property? ☒ NO ☐ YES (please provide contact information for easement holder): _____

IV. ATTACH MATERIALS NEEDED TO COMPLETE THE APPLICATION

Descriptive materials will usually have to be submitted to complete the application. Required materials include documentation that explains the existing and proposed conditions, and clearly illustrates how the proposed work does or does not meet LPC Rules. LPC Rules and guides are available on the website: www.nyc.gov/landmarks. Depending on the type of work proposed these materials may include drawings, photographs, photo-montages, material samples and written specifications.

For a complete list of materials required for the most common work types, please refer to the Permit Application Guide as you complete the application: www.nyc.gov/html/lpc/downloads/pdf/pubs/App_Guide_Complete_Version.pdf. An application that includes all of the required materials can often be expedited. Incomplete submissions will cause delays.

This application will not be deemed complete until it is so certified by the landmarks preservation commission. You may contact the LPC if you need information about the application process, details about the types of drawings or other materials that may be required, or for general guidance: Tel: (212) 658-7817/ E-mail: info@lpc.nyc.gov.

An application may be completed by the owner, tenant, lessee, co-op shareholder, architect, engineer, contractor, or other individual or firm. Please list all relevant contacts below, and check the primary contact.

V. CONTACT INFORMATION (please check off Primary Contact)

<input type="checkbox"/> TENANT/LESSEE/CO-OP SHAREHOLDER		<input type="checkbox"/> PRIMARY CONTACT
Name: A.J. Rexhepi - Assistant Secretary		Company/Corporation/Organization: Century Management
Address: 440 Ninth Avenue, 15th Floor		City & State: New York, NY Zip: 10001
Phone: 212-560-6400		E-mail: ARexhepi@CenturyNY.com
<input type="checkbox"/> ARCHITECT/ENGINEER/CONTRACTOR (IF APPLICABLE)		<input type="checkbox"/> PRIMARY CONTACT
Name: Michael V. Notaro		Company/Corporation/Organization: MVN Architects LLC
Address: 39-39 29th Street		City & State: New York, NY Zip: 11101
Phone: 718-482-8190		E-mail: info@mvnarchs.com
<input type="checkbox"/> PERSON FILING APPLICATION (E.G., EXPEDITOR, ATTORNEY, MANAGING AGENT) <input type="checkbox"/> PRIMARY CONTACT		
Name:		Company/Corporation/Organization:
Address:		City & State: Zip:
Phone:		E-mail:

VI. OWNER'S INFORMATION, CONSENT, AND SIGNATURE

I am the owner of the above listed property. For applications for work on or in a cooperative or condominium building, the "owner" is the Co-op Board or Condominium Association. An officer of the Co-op Board or Condominium Association must sign this application. I am familiar with the work proposed to be carried out on my property and give my permission for this application to be filed. The information entered is correct and complete, to the best of my knowledge.

IMPORTANT: The managing agent of a cooperative or condominium association must be an officer of the board to sign this application.

NAME: A.J. Rexhepi

TITLE (if applicable): Secretary

COMPANY, CORPORATION, OR ORGANIZATION (if applicable): 157 East 72nd Street Condominium

MAILING ADDRESS: 440 Ninth Avenue CITY, STATE, ZIP CODE: New York, NY

PHONE: 212-560-6400 E-MAIL: ARexhepi@CenturyNY.com

SIGNATURE OF OWNER OR AUTHORIZED REPRESENTATIVE: _____

MVN Architect LLC

Michael V. Notaro, AIA

59-39 29th St
NY, NY 11101
718.482.8130
718.461.7155
www.mvnarchts.com
info@mvnarchts.com

157 EAST 72ND STREET, MANHATTAN, NY
CENTURY MANAGEMENT SERVICES, INC.

MVN ARCHITECT LLC
LPC APPLICATION

LPC INITIAL APPLICATION
WINDOW REPLACEMENT MASTER PLAN
157 EAST 72ND STREET, MANHATTAN, NY

Date:	December 18, 2018		
To:	NYC Landmarks Preservation Commission 1 Center Street, 9th Floor North New York, NY 10007	Via:	MESSENGER
From:	Michael Notaro Sterlin Adams	Email:	info@mvnarchts.com sadamc@mvnarchts.com

Introduction:

This application outlines the basis for a Master Plan which seeks permission from Landmarks to perform replacement of existing double hung windows with new aluminum framed double hung replacement windows with new integral extruded aluminum (profiled) panning on a consistent basis and according to a standard at 157 East 72nd Street NY, NY 10021.

The building is located within the Upper East Side Historic District Extension. The apartment building was built in 1924 in the Renaissance Revival style.

Existing windows at the building consist of the following:

- Aluminum replacement type 1/1 double hung windows at apartments, including at lot line locations.
- Clad wood (Kalemein) windows at stair-halls. These windows are serviceable and are to remain.

Apartment windows which have been replaced with aluminum windows have been wrapped with plain brake formed trim over the existing painted wood brick (beaded) molding.

The existing 1 over 1 aluminum double hung windows are beyond their serviceable life.

Original wood windows were observed on rear and court facades. They have all been found to be in a 1 over 1 configuration with no divided lite muntins.

Replacement of windows when performed shall be installed as follows:

South and South Court Facades (Visible from public sidewalk on 72nd Street)

- Apartment windows are to be replaced with new aluminum double hung replacement windows with integral extruded aluminum panining matching the (beaded) profile of the original wood brick molding. Windows will be replaced consistent with the original wood windows in a 1 over 1 configuration.

North, East and West Facades and Court Facades (Not visible from public sidewalk on 72nd Street)

- Apartment windows are to be replaced with new aluminum double hung replacement windows with integral extruded aluminum panining matching the (beaded) profile of the original wood brick molding. Windows will be replaced consistent with the original wood windows in a 1 over 1 configuration.

157 East 72 nd Street, New York, NY 10021							
Block No.	1407	Lot No.	7501	DOB Bin #	1042881	C.B. No.	108

PLEASE FIND ENCLOSED, AS FOLLOWS:

Application Checklist for Master plan for window replacement and repairs

#	Description	Remarks
A.	Permit application form (Signed by the owner of the building)	Enclosed
B.	Written statement saying window work will conform to the Master plan.	See Below
C.	Color photographs or elevation drawing of the building with the windows to be replaced identified with tags.	See Below
D.	List all the window types to have work performed on them	See drawings

A. LPC Permit application signed by the building owner

Enclosed.

B. Written Statement

Michael V. Notaro, RA of MVN Architect LLC (MVN) is writing to respectfully request an initial application and review of proposed Master plans for window replacement and repairs. The proposed work would occur on all facades. Apartment windows are to be replaced with new aluminum double hung replacement windows with integral extruded aluminum panining matching the (beaded) profile of the original wood brick molding. Windows will be replaced consistent with the original wood windows in a 1 over 1 configuration as per below.

South – Street Fronting Façade

(Visible from the sidewalk at 72nd Street.)

- Each unit consists of **THREE (THREE Windows Per Unit)** double hung single window within a masonry opening.
 - Each unit consists of **TWO (Two Windows Per Unit)** double hung single window within a masonry opening.
 - Each unit consists of **ONE (One Window Per Unit)** double hung single window with frosted glass within a masonry opening.
- Refer to window types for additional info. Exist. alum. windows and aluminum trim to be removed. Prepare existing frame with new waterproofing membrane at junks (minimum 8" ead dam) and sill. New flange frame windows and extruded panining (clip on) to be installed in existing wood frame. Provide extruded alum.

East – Lot Line Façade

(Partially Visible from the Sidewalk at 72nd Street.)

- Each unit consists of **THREE (THREE Windows Per Unit)** double hung single window within a masonry opening.
- Each unit consists of **TWO (Two Windows Per Unit)** double hung single window within a masonry opening.
- Each unit consists of **ONE (One Window Per Unit)** double hung single window with frosted glass within a masonry opening.
Refer to window types for additional info. Exist. alum. windows and aluminum trim to be removed. Prepare existing frame with new waterproofing membrane at jambs (minimum 3" end-dam) and sill. New flange frame windows and extruded panning (clip on) to be installed in existing wood frame. Provide extruded alum.

North - Rear Façade

(Partially visible from the sidewalk at 73rd street)

- Each unit consists of **THREE (THREE Windows Per Unit)** double hung single window within a masonry opening.
- Each unit consists of **TWO (Two Windows Per Unit)** double hung single window within a masonry opening.
- Each unit consists of **ONE (One Window Per Unit)** double hung single window with frosted glass within a masonry opening.
Refer to window types for additional info. Exist. alum. windows and aluminum trim to be removed. Prepare existing frame with new waterproofing membrane at jambs (minimum 3" end-dam) and sill. New flange frame windows and extruded panning (clip on) to be installed in existing wood frame. Provide extruded alum.

West - Lot Line Façade

(Not visible from the sidewalk at 72nd street.)

- Each unit consists of **THREE (THREE Windows Per Unit)** double hung single window within a masonry opening.
- Each unit consists of **TWO (Two Windows Per Unit)** double hung single window within a masonry opening.
- Each unit consists of **ONE (One Window Per Unit)** double hung single window with frosted glass within a masonry opening.
Refer to window types for additional info. Exist. alum. windows and aluminum trim to be removed. Prepare existing frame with new waterproofing membrane at jambs (minimum 3" end-dam) and sill. New flange frame windows and extruded panning (clip on) to be installed in existing wood frame. Provide extruded alum.

PROPOSED COLORS WINDOWS AND PANNING:

- Upper Floors 2 thru 15 at Primary Facades
- All floors at Secondary facades.



Original paint color. (Brown)



Benjamin Moore Expresso Bark CSP-390
(Image from W.W. Web)



Proposed extruded panning with bead to match existing beaded wood brick molding.
(Color of panning is sample and is not representative of the proposed color for new windows)

BREAK-DOWN OF WINDOWS TYPES AND QUANTITIES:

Facade		Types of windows					Total
Street Fronting	Non-visible from Street	Triple	Double	Single	Bathroom	Stair	
East 72 nd street		26	60	0	28	0	114
	North facade	42	30	17	45	14	148
Front South courtyard		28	14	28	42	0	160
	West facade	30	0	30	0	0	60
	East facade	0	30	15	15	15	75
TOTAL:		126	134	90	130	29	557

C. Existing Conditions Photographs



South (Primary) Façade 72nd Street



South Façade – base of the building



South Façade – upper portions



North Façade – Existing Conditions



West and North Facades – upper portion



Northeast corner – Existing conditions



East Façade – Existing Conditions



Typical Ganged (triple) window



Typical Bathroom window (Frosted Glass)



Typical single window .



Existing Stairwell Windows. (Not part of this application)



Ganged windows (unequal width)



Ganged Windows (triple equal width)



Original wood framed windows.



Original wood framed windows.





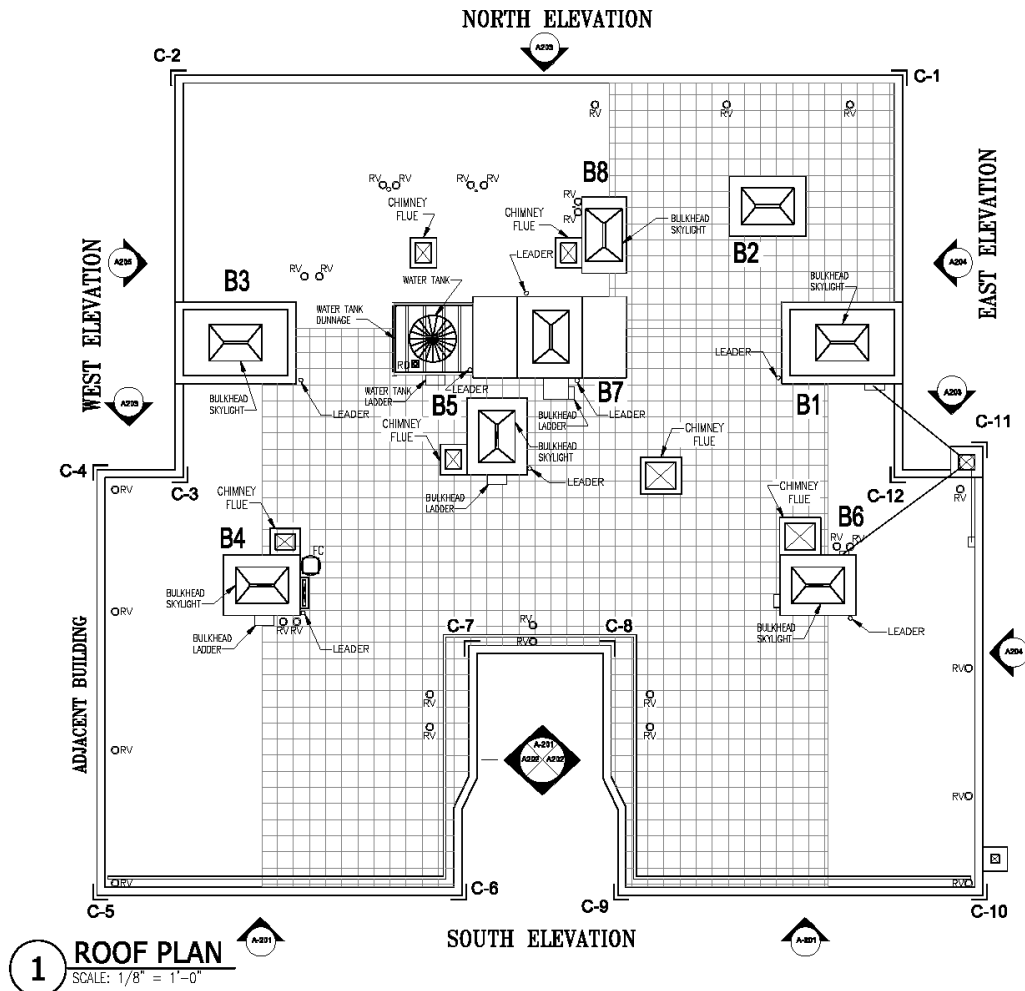
Written Material and Repair Specifications

Window Caulking: (Visible and Non-visible from Sidewalk)

All window sealants at the West Façade are to be removed and re-caulked with Sonneborn NP-1 sealant or approved equal. Color shall be gray to match the existing caulking and the adjacent aluminum window units.

END





LEGEND (ROOF DWGS)

- | | | | |
|--|--|--|----------------------|
| | DRAWING TITLE INDICATOR | | VENT SHAFT LOCATIONS |
| | ELEVATION INDICATOR | | VENT STACK LOCATIONS |
| | SECTION DETAIL INDICATOR | | ROOF PAVERS |
| | DIMENSION LINE | | ROOF DRAIN LOCATIONS |
| | NORTH ARROW | | |
| | CORNER NUMBER (IDENTIFICATION AND ORIENTATION) | | |

Architect

MVN ARCHITECT, LLC
39-39 23rd Street
Long Island City, NY 11101
tel: 718-483-9100 fax: 718-361-2188
website: www.mvnarch.com email: info@mvnarch.com

Project

WINDOW MASTER PLAN
157 EAST 72ND STREET
NEW YORK, NY 10021

NUMBER	DATE	REVISION

KEY PLAN (NOT TO SCALE)

ADDRESS: 157 EAST 72ND STREET, MANHATTAN, NY 10021
BLOCK: 1407
LOT: 7501
DOB BKG: 1042881

NUMBER	DATE	ISSUE
1	10/12/18	ISSUED FOR LPC

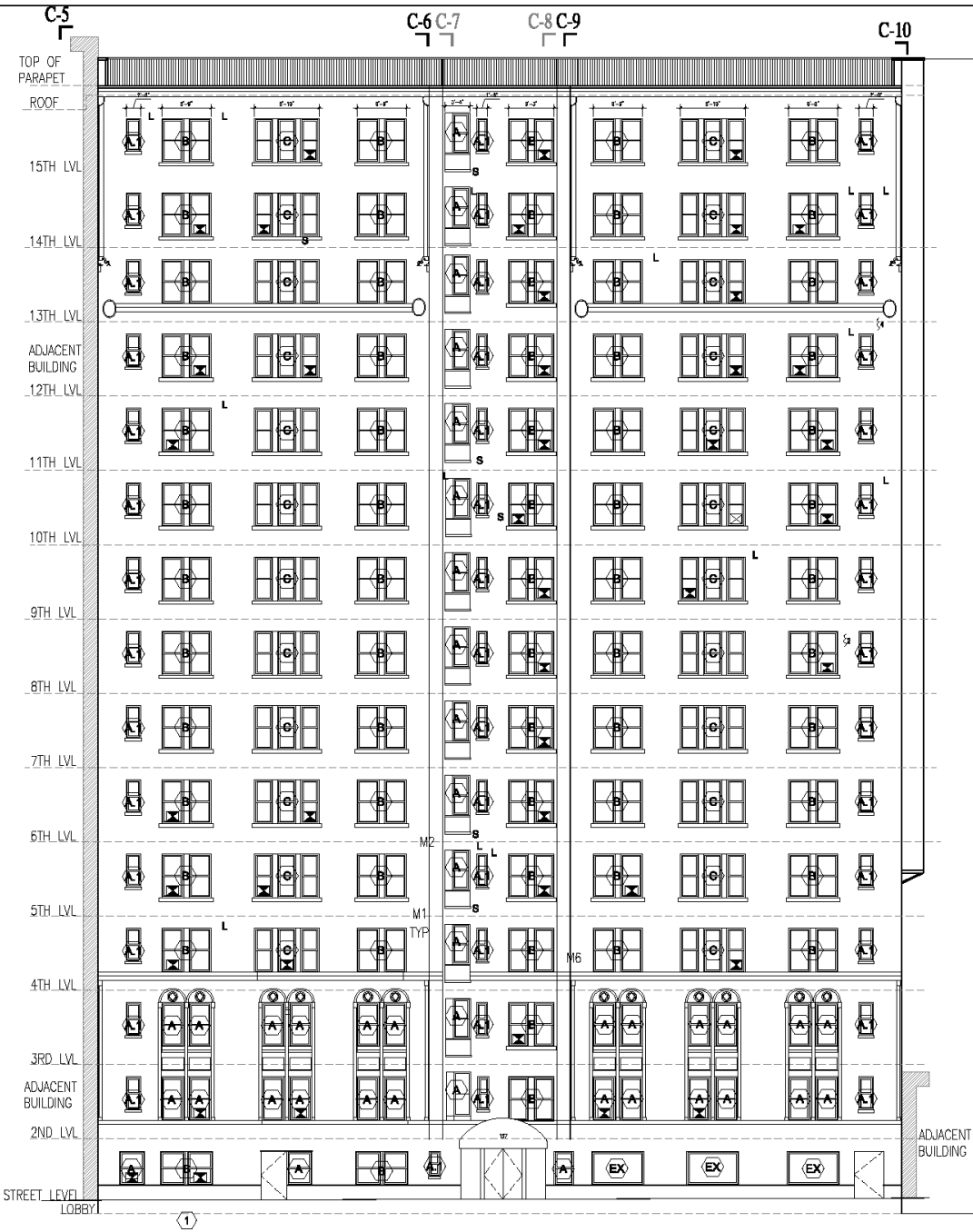
Drawing Title

ROOF PLAN

Job No.: 08-41E
Date: OCTOBER 12, 2018
Scale:
Drawn by: SA
Seal:
Sheet:
Page No.: 01 of 08

A-100.00

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WINDOW SCHEDULE

WINDOW TYPE	GLAZING TYPE	WINDOW SCREEN	QUANTITIES	REMARKS
A	CLEAR	Y	138	-
A.1	FROSTED	Y	131	-
B	CLEAR	Y	147	-
C	CLEAR	Y	127	-

Architect

MYN ARCHITECT, LLC
 39-39 25th Street
 Long Island City, NY 11101
 Tel: 718-488-9198 Fax: 718-381-9198
 website: www.mynarchitect.com email: info@mynarchitect.com

Project

WINDOW MASTER PLAN
 157 EAST 72ND STREET
 NEW YORK, NY 10021

NUMBER	DATE	REVISION

KEY PLAN (NOT TO SCALE)
 ADDRESS: 157 EAST 72ND STREET, MANHATTAN, NY 10021
 BLOCK: 1407
 LOT: 7501
 DOB BNR: 1042881

NUMBER	DATE	ISSUE
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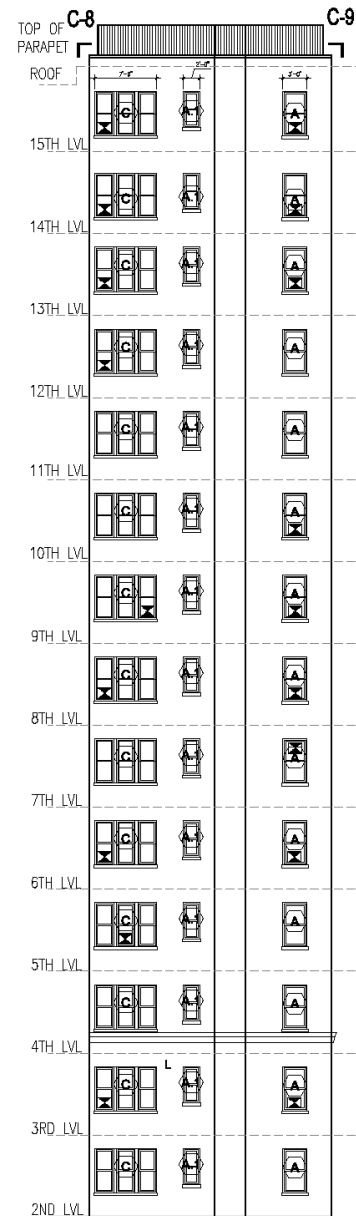
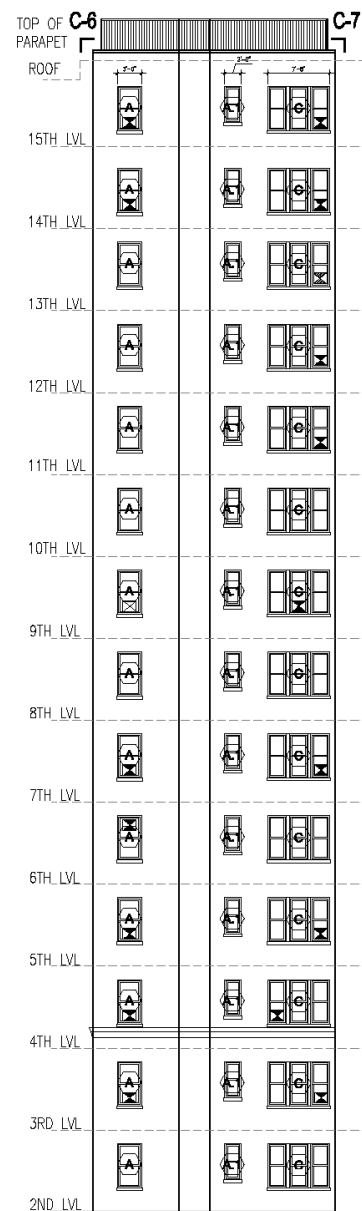
Drawing Title

SOUTH ELEVATION
"A", "C" & "E"

Job No: 08-41E
 Date: OCTOBER 12, 2018
 Scale:
 Drawn by: S.A.
 Sheet: A-201.00
 Page No: 02 of 08
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1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WINDOW SCHEDULE

WINDOW TYPE	GLAZING TYPE	WINDOW SCREEN?	QUANTITY	REMARKS
A	CLEAR	Y	138	-
A.1	FROSTED	Y	131	-
B	CLEAR	Y	147	-
C	CLEAR	Y	127	-

EXTERIOR COLOR ON THE SOUTH ELEVATION TO BE ESPRESSO BARK.

1 SOUTH COURT ELEVATION

SCALE: 1/8" = 1'-0"

Architect

MVN ARCHITECT, LLC

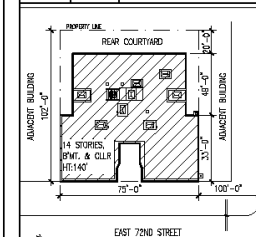
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Project

WINDOW MASTER PLAN

157 EAST 72ND STREET
NEW YORK, NY 10021

NUMBER	DATE	REVISION



KEY PLAN (NOT TO SCALE)

ADDRESS: 157 EAST 72ND STREET,
MANHATTAN, NY 10021
BLOCK: 1407
LOT: 7501
DOB BNR: 1042881

1	10/12/18	ISSUED FOR LPC
NUMBER	DATE	ISSUE

Drawing Title

SOUTH ELEVATION
"A" & "C"

Job No: 08-41E

Date: OCTOBER 12, 2018

Scale:

Drawn by: SA

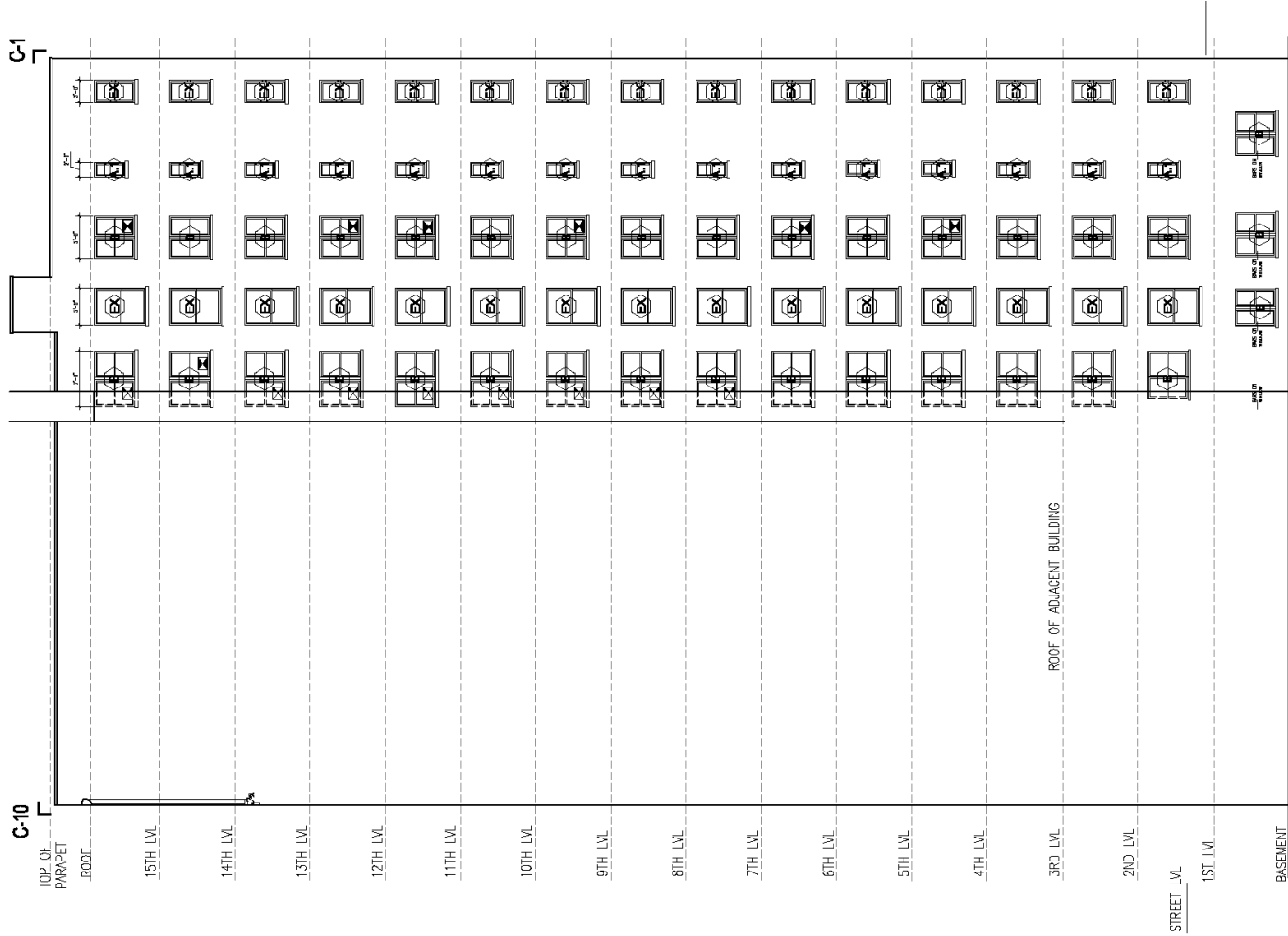
Seal:

Draw No:

A-202.00

Page No: 03 of 08

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1 EAST COURT ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR COLOR ON THE
SOUTH ELEVATION TO BE
ESPRESSO BARK. PLEASE
REFER TO A-201 FOR
WINDOW SCHEDULE.

Architect

MVN ARCHITECT, LLC

39-39 29th Street
Long Island City, NY 11101
tel: 718-462-8190 fax: 718-381-5163
website: www.mvnarch.com email: info@mvnarch.com

Project

WINDOW MASTER PLAN

157 EAST 72ND STREET
NEW YORK, NY 10021

NUMBER	DATE	REVISION

KEY PLAN (NOT TO SCALE)

ADDRESS: 157 EAST 72ND STREET,
MANHATTAN, NY 10021

BLOCK: 1407

LOT: 7501

DOB BNM: 1042881

EAST 72ND STREET

3RD AVENUE

NUMBER	DATE	ISSUE
1	10/12/18	ISSUED FOR LPC

Drawing Title

**EAST REAR COURT
ELEVATION**

Job No: 08-41E

Date: OCTOBER 12, 2018

Scale:

Drawn by: S.A

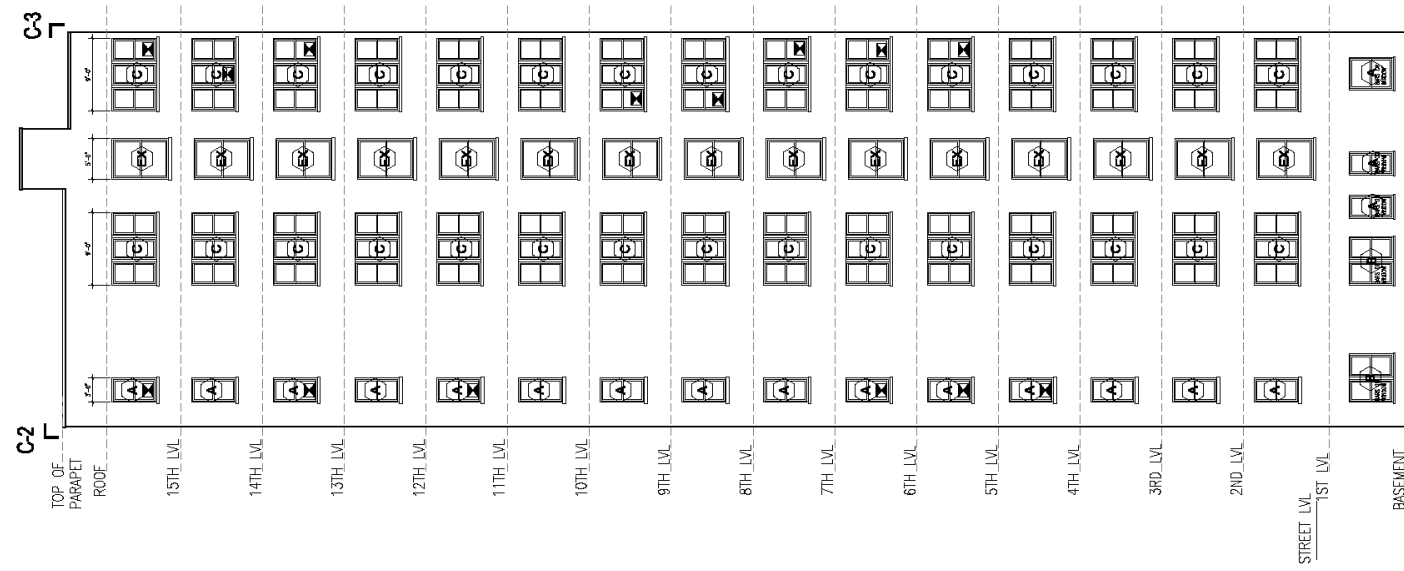
Sheet

Dep No:

A-204.00

Page No: 05 of 08

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EXTERIOR COLOR ON THE
SOUTH ELEVATION TO BE
ESPRESSO BARK. PLEASE
REFER TO A-201 FOR
WINDOW SCHEDULE.

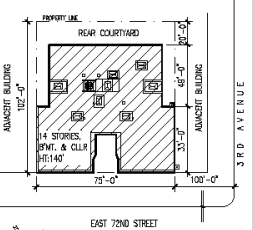
1 WEST COURT ELEVATION

SCALE: 1/8" = 1'-0"

Architect
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WINDOW MASTER PLAN
157 EAST 72ND STREET
NEW YORK, NY 10021

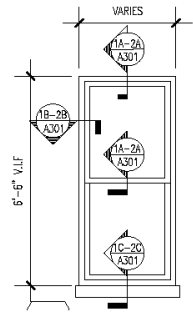
NUMBER	DATE	REVISION



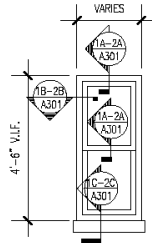
KEY PLAN (NOT TO SCALE)
ADDRESS: 157 EAST 72ND STREET,
MANHATTAN, NY 10021
BLOCK: 1407
LOT: 7501
DOB BNM: 1042881

1 10/12/18 ISSUED FOR LPC
NUMBER DATE ISSUE
Drawing Title
**WEST REAR COURT
ELEVATION**

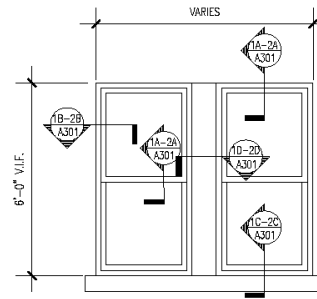
Job No.: 08-41E
Date: OCTOBER 12, 2018
Scale:
Drawn by: S.A.
Sheet:
Dep. No.:
A-205.00
Page No.: 06 of 08
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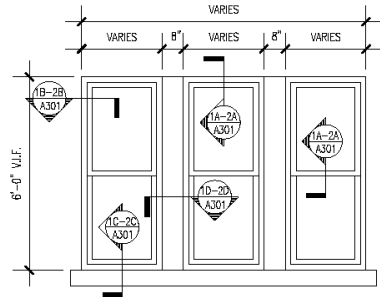
A SINGLE WINDOW
SCALE: 1/2" = 1'-0"



A.1 SINGLE WINDOW (BATHROOM)
SCALE: 1/2" = 1'-0"



B DOUBLE GANGED WINDOW
SCALE: 1/2" = 1'-0"



C TRIPLE GANGED WINDOW
SCALE: 1/2" = 1'-0"

EX EXISTING WINDOW TO REMAIN
NO SCALE

EXTERIOR COLOR ON THE
ALL FACADES IS TO BE
ESPRESSO BARK.

Architect

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Project

WINDOW MASTER PLAN
157 EAST 72ND STREET
NEW YORK, NY 10021

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KEY PLAN (NOT TO SCALE)

ADDRESS: 157 EAST 72ND STREET, MANHATTAN, NY 10021

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NUMBER	DATE	ISSUE

Drawing Title

WINDOW ELEVATIONS

Job No.: 08-41E

Date: OCTOBER 12, 2018

Scale: 1/2" = 1'-0"

Drawn by: S.A.

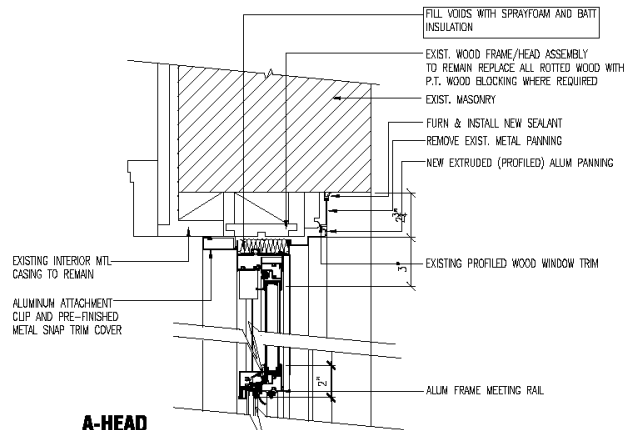
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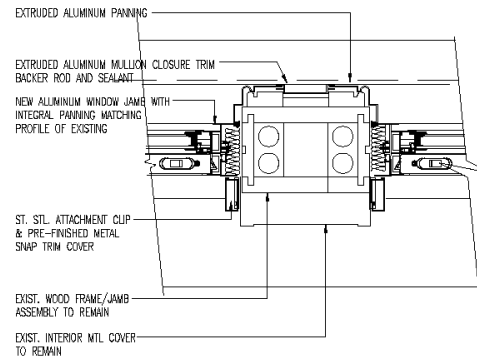
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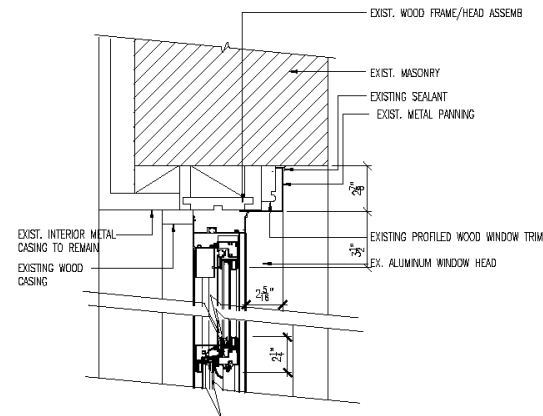
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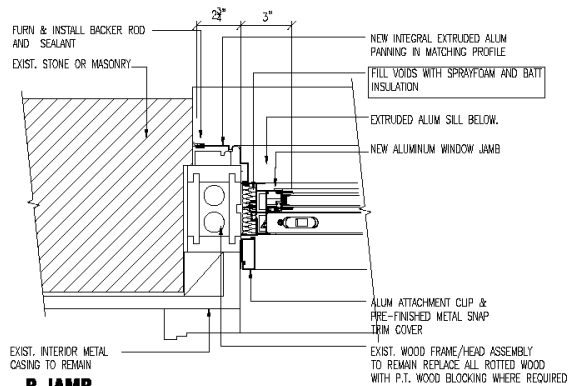
A-HEAD



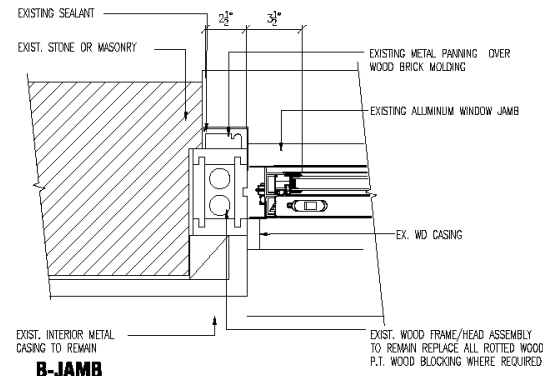
D-MULLION-PROPOSED



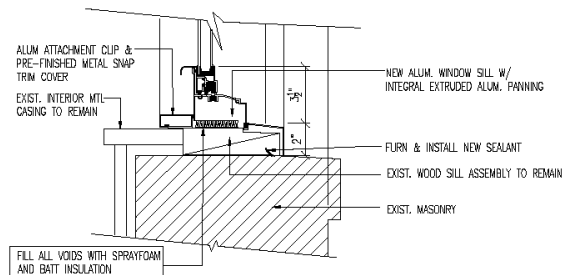
A-HEAD



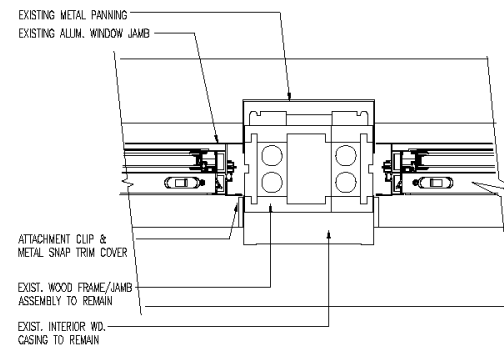
B-JAMB



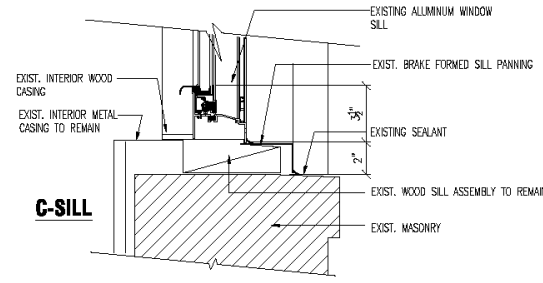
B-JAMB



D-MULLION-PROPOSED



D-MULLION-EXISTING



C-SILL

2 WINDOW DETAILS (PROPOSED)
SCALE: 3" = 1'-0"

1 WINDOW DETAILS (PROPOSED)
SCALE: 3" = 1'-0"

Architect

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Project

WINDOW MASTER PLAN

**157 EAST 72ND STREET
NEW YORK, NY 10021**

NUMBER	DATE	REVISION

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NUMBER	DATE	ISSUE
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Drawing Title

DETAILS - 1

Job No: 08-41E
Date: OCTOBER 12, 2018
Scale: AS SHOWN
Drawn by: S.A.

Sheet

Dep. No:

A-301.00

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