

# 156 EAST 71 ST, NEW YORK, NY

## LANDMARKS SUBMISSION LPC-24-00000

156 E 71 ST

156 EAST 71 STREET

Architect

Daniel Kaplan, RA  
Bowerbird Architects, PLLC  
124 9th St. Suite 250  
Brooklyn NY 11215  
Tel: 917.447.7855

Owner

Steel Property Group

Code Consultant

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LANDMARKS SUBMISSION

01/06/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

TITLE SHEET

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.:	02/18/22
	SCALE:	0147	AS NOTED
	DRAWING NO.:		



L-001.00

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### LANDMARKS SHEET LIST

LANDMARKS SHEET LIST	
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L-207.00	DEMOLITION & PROPOSED ELEVATIONS - REAR FACADE
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L-210.00	PROPOSED REAR FACADE
L-211.00	WINDOW- AND DOOR SCHEDULES AND TYPICAL DETAILS
L-212.00	TYPICAL WINDOW DETAILS
L-213.00	EXISTING FRONT FACADE TYPICAL WINDOW CLOSE-UP PHOTOS
L-214.00	EXISTING FRONT FACADE ENTRY DOOR CLOSE-UP PHOTOS
L-301.00	PROPOSED BUILDING SECTION
L-302.00	SIGHT LINE ANALYSIS ROOF PH
L-303.00	ROOF VISIBILITY DIAGRAM
L-304.00	ROOF VISIBILITY ANALYSIS - SURROUNDINGS
L-305.00	ROOF VISIBILITY ANALYSIS - FROM LEXINGTON AVENUE

### ABBREVIATIONS

A	- ADJACENT	H	- HEIGHT	P	- PARTITION
ADJ.	- ADJACENT	HGT.	- HEIGHT	PART.	- PLASTER
A.F.F.	- ABOVE FINISHED FLOOR	HR.	- HOUR	PLAS.	- P.L.
I	- INSULATION	L	- LIGHT	R	- RADIUS
APP'D & @	- APPROVED AND AT	LAV.	- LAVATORY	r.	- RAD.
B	- BY CONTRACTOR	LGT.	- LIGHT	RCP.	- REFLECTED CEILING PLAN
B.C.	- BUILDING	M	- MANUFACTURER	REMV.	- REMOVE
BLDG.	- BUILDING	MANF.	- MATERIAL	REQ.D.	- REQUIRED
B.O.	- BY OWNER	MAT.	- MAXIMUM	RM.	- ROOM
C	- CENTER LINE	MAX.	- MECHANICAL	S	- SECTION
CL	- CLOSET	MECH.	- MINIMUM	SECT.	- SHEL/VG
CLG.	- CEILING	MIN.	- METAL	SHELVG	- SHELVONG
CONT.	- CONTINUOUS	MTL.	- NOT IN CONTRACT	SHT.	- SHEET
CONC.	- CONCRETE	N	- NOT IN CONTRACT	SIM.	- SIMILAR
CUI/FT	- CUBIC FEET	N.I.C.	- NOMINAL	SPEC.	- SPECIFICATION
CU/FT	- DEPARTMENT	NO.	- NOT TO SCALE	SQ. FT./S.F.	- SQUARE FEET
DET.	- DETAIL	NOM.	- NOT TO SCALE	S.S./ST. STEEL	- STAINLESS STEEL
DIM.	- DIMENSION	N.T.S.	- NOT TO SCALE	STD.	- STANDARD
DN.	- DOWN	O	- ON CENTER	STL.	- STEEL
DR.	- DOOR	O.C.	- OPENING	STOR.	- STORAGE
DWG.	- DRAWING	OP'G.	- PARTITION	STRUCT.	- STRUCTURAL
E	- ELEVATION	P	- PLASTER	SQ./YD	- SQUARE YARD
EL./ELEV.	- ELECTRIC	PART.	- PLASTER	T	- TO BE
ELEC.	- ENCLOSURE	PL/PLAS.	- PROPERTY LINE	TBD	- DETERMINED
ENCL.	- ENTRANCE	P.L.	- MANUFACTURER	TEL.	- TELEPHONE
ENT.	- EQUAL	M	- MATERIAL	THK.	- THICK/THICKNESS
EQ.	- EQUIPMENT	MANF.	- MAXIMUM	T.O.	- TOP OF
EQUIP.	- EXISTING	MAT.	- MECHANICAL	TOT.	- TOTAL
EXIST.	- FINISH	MAX.	- MINIMUM	TYP.	- TYPICAL
F	- FLOOR	MECH.	- METAL	U	- UNLESS OTHERWISE NOTED
FIN.	- FIREPROOFING	MIN.	- NOT IN CONTRACT	U.O.N.	- VERIFY IN FIELD
FL/FLR.	- GAUGE	MTL.	- NUMBER	V	- WAINSCOT
F.P.	- GALVANIZED	N	- NOMINAL	V.I.F.	- WALK IN CLOSET
G	- GENERAL CONTRACTOR	N.I.C.	- NOT TO SCALE	W.	
GA.	- GLASS	NO.	- ON CENTER	WAINS.	
GALV.	- GAS VALVE	NOM.	- OPENING	W.I.C.	
G.C.	- GYPSUM BOARD	N.T.S.			
GLS.		O.C.			
G.V.		OP'G.			
GYP.BD./GWD.					

### DRAWING CONVENTIONS

DETAIL NUMBER	GRID LINE INDICATOR	WINDOW NUMBER
WHERE DWG. ORIGINATED	ELEVATION INDICATOR	ROOM NAME
SECTION NUMBER	PARTITION TYPE	DOOR INDICATOR
WHERE DWG. ORIGINATED		
SHEET NUMBER		
ELEVATION		



FRONT FACADE



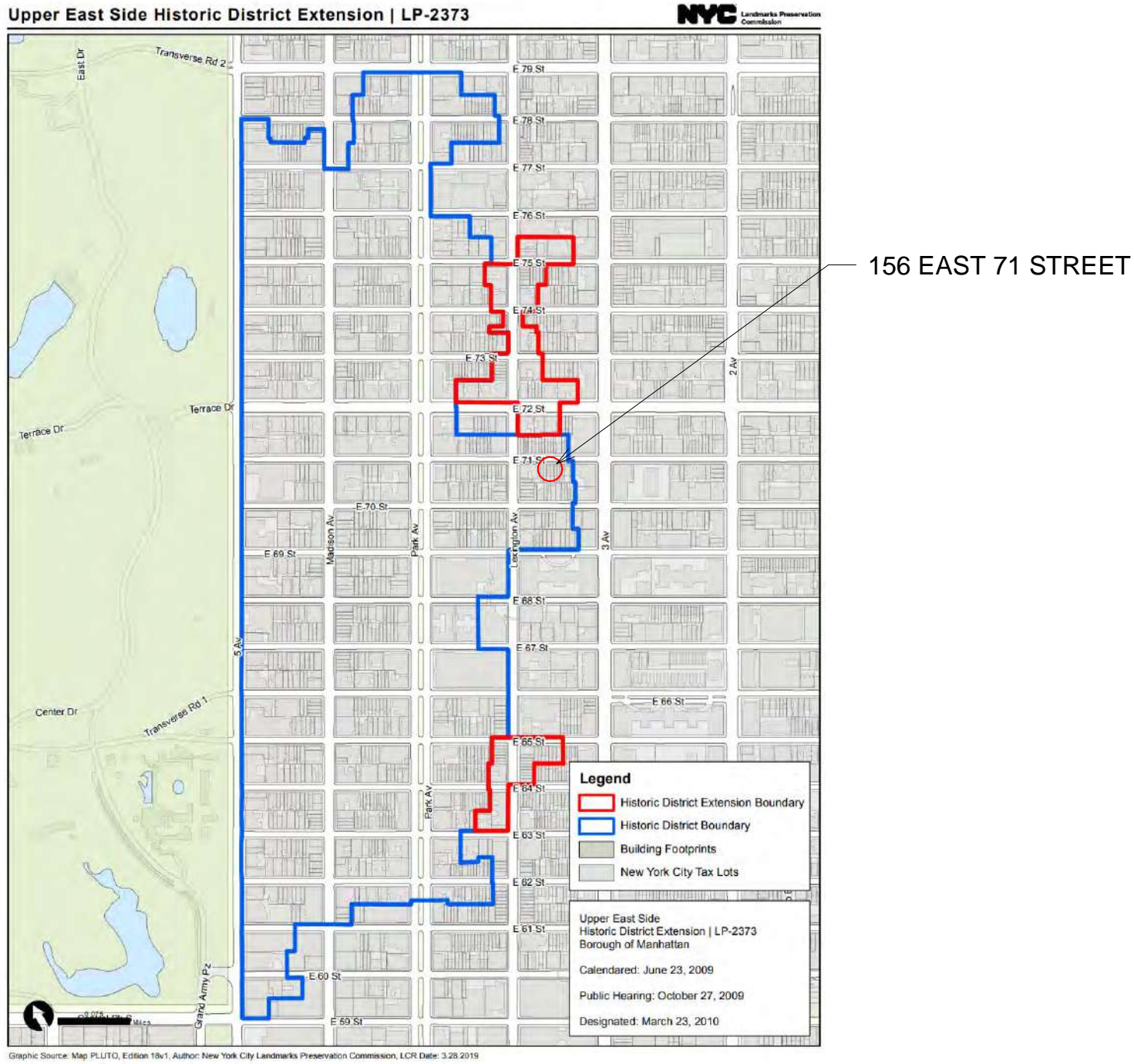
REAR FACADE



REAR YARDS BETWEEN E 70 ST & E 71 ST, 3RD AV & LEXINGTON AV



LANDMARKS MAP



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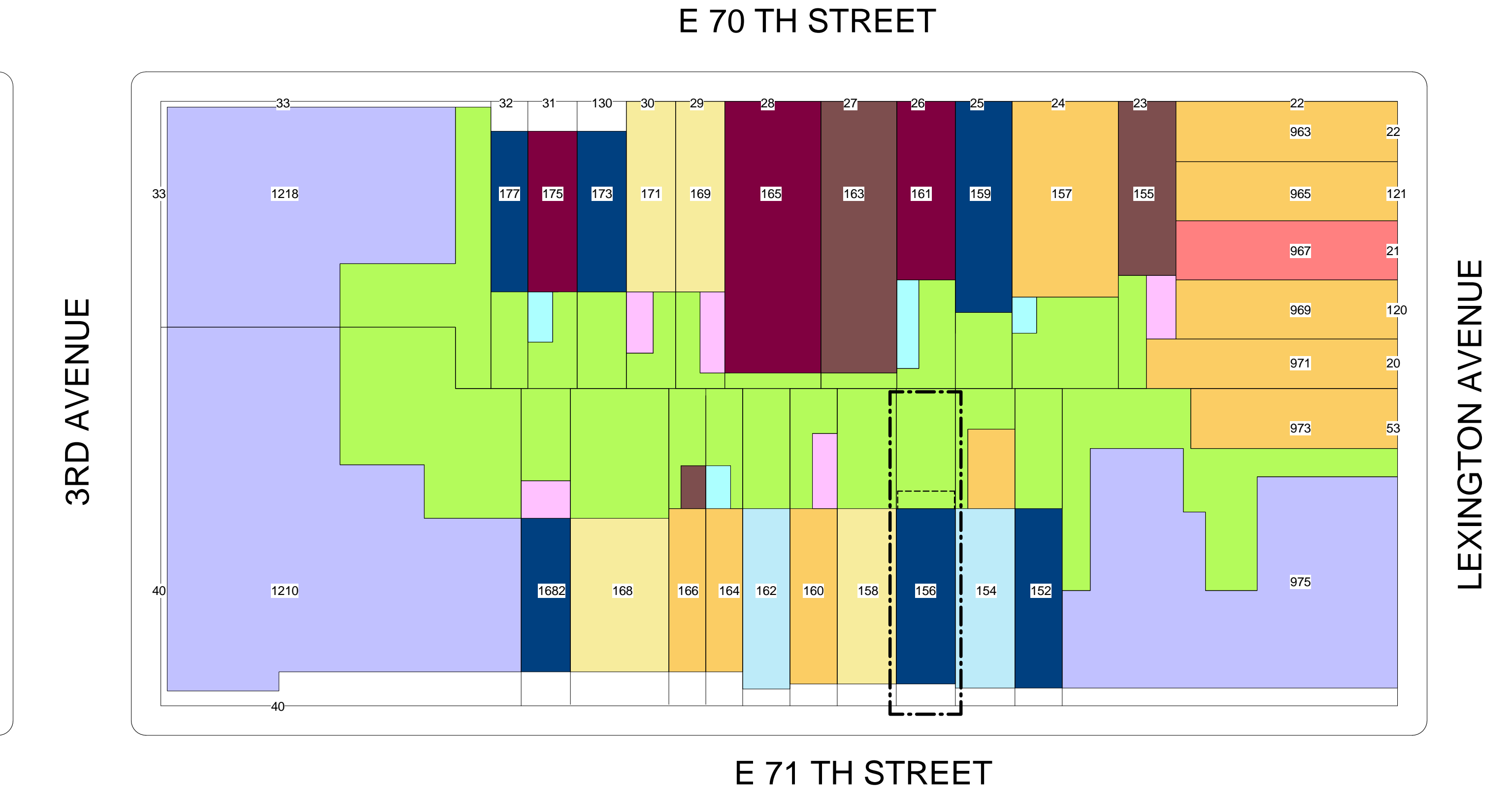
BLOCK PLAN, LEGEND,  
LANDMARKS MAP AND  
AERIAL VIEW

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L-002.00

PLOT PLAN: ENTIRE BLOCK BETWEEN LEXINGTON AV AND 3RD AV (FROM NYC ZOLA, GOOGLE MAPS AND PHOTOS)



PLAN LEGEND:

5 STORY + BASEMENT	2 STORY + BASEMENT	3 STORY	4 STORY
4 STORY + BASEMENT	HIGHRISE APT BULDG.	2 STORY	5 STORY
3 STORY + BASEMENT	GREEN SPACE	1 STORY	6 STORY





BLOCK PHOTO - TOP VIEW



BLOCK PHOTO - REAR YARDS BETWEEN LEXINGTON AV & 3RD AV & E 70 ST & E 71 ST



BLOCK PHOTO - REAR YARDS BETWEEN LEXINGTON AV & 3RD AV & E 70 ST & E 71 ST

← EAST 70 ST →

← EAST 70 ST →

← LEXINGTON AVENUE →



BLOCK PHOTO - VIEW FROM 156 EAST 71 ST LOOKING WEST



BLOCK PHOTO - VIEW FROM 156 EAST 71 ST LOOKING NORTH



BLOCK PHOTO - VIEW FROM 156 EAST 71 ST LOOKING EAST

← 71 ST STREET →

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L-004.00





156 EAST 71 ST : TAX PHOTO



156 EAST 71 ST : SITE VISIT PHOTO

REMOVAL OF WINDOW  
BARS ON THE THIRD  
FLOOR

REPLACEMENT OF  
WINDOWS

ADDITION OF EXTERIOR  
LIGHTING

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1940 TAX PHOTO AND 2024  
SITE VISIT PHOTO

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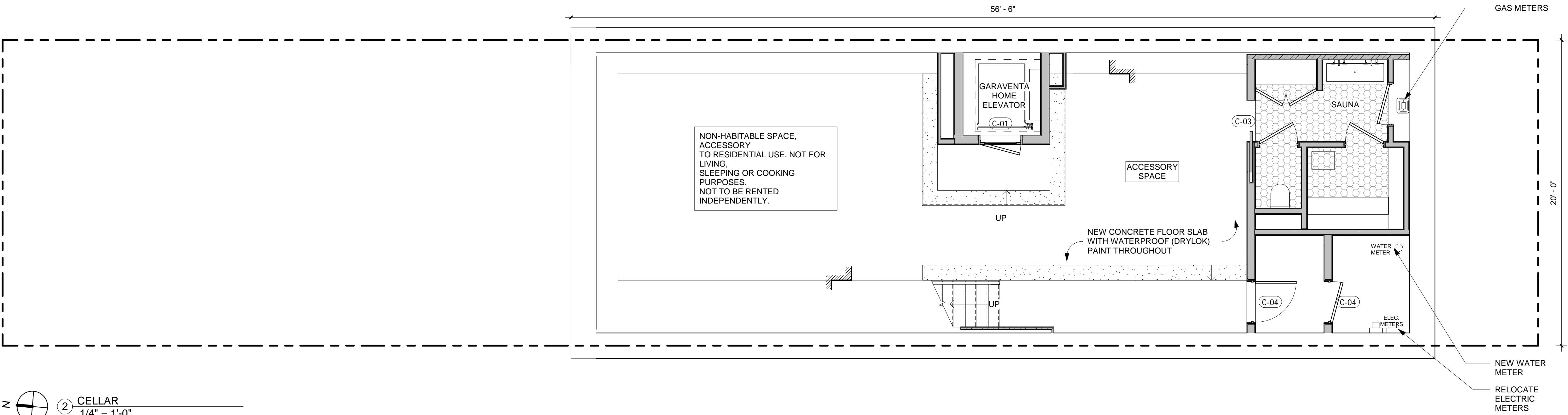
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DEMOLITION & PROPOSED  
PLAN - CELLAR

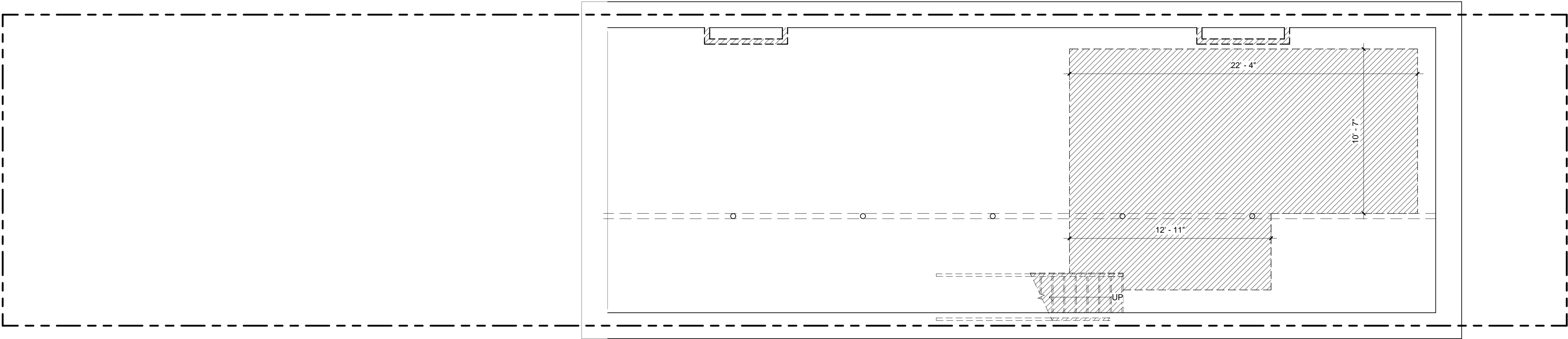
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L-101.00



2 CELLAR  
1/4" = 1'-0"



1 CELLAR-DEMO  
1/4" = 1'-0"

DEMOLITION LEGEND:

- EXISTING TO REMAIN
- REMOVALS

NOTES:

- REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENT ETC., AS INDICATED.
- REMOVE ALL RADIATORS
- ALL FRONT & REAR WINDOWS ARE TO BE REPLACED
- ALL FRONT & REAR INTERIOR FURRING WALL TO BE REMOVED, INSULATED AND REFINISHED
- ALL EXISTING FLOOR JOIST FRAMING WILL REMAIN, UNLESS MINOR REPLACEMENT IS REQUIRED DURING CONSTRUCTION.SEE STRUCTURAL DWGS.

PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- MA BATHROOM EXHAUST FAN



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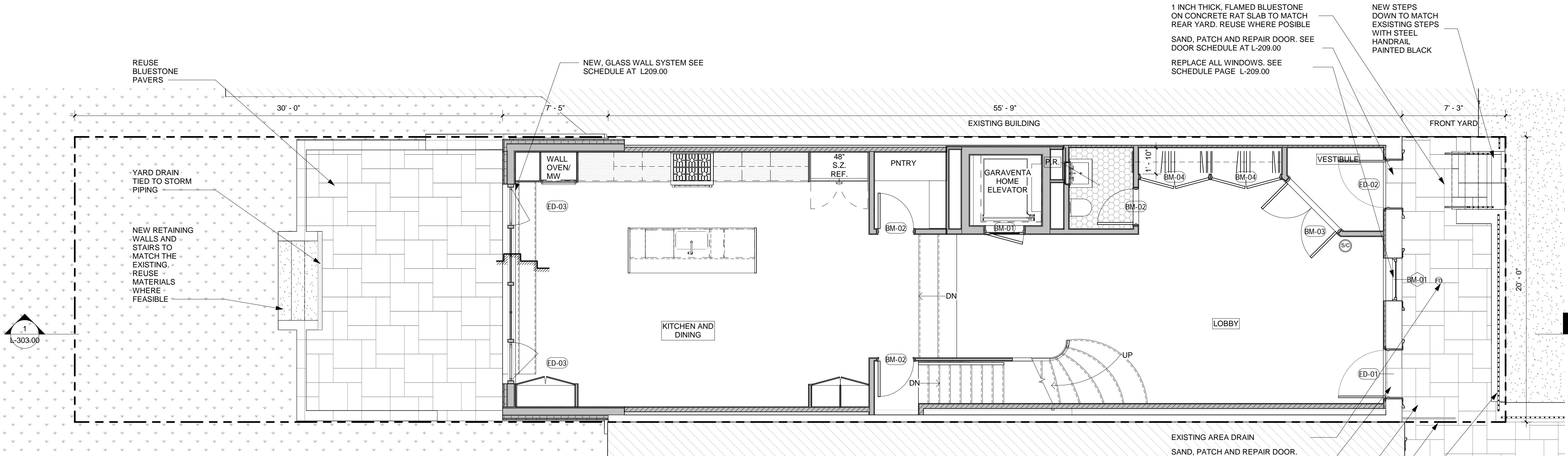
TITLE

DEMOLITION & PROPOSED  
PLAN - BASEMENT

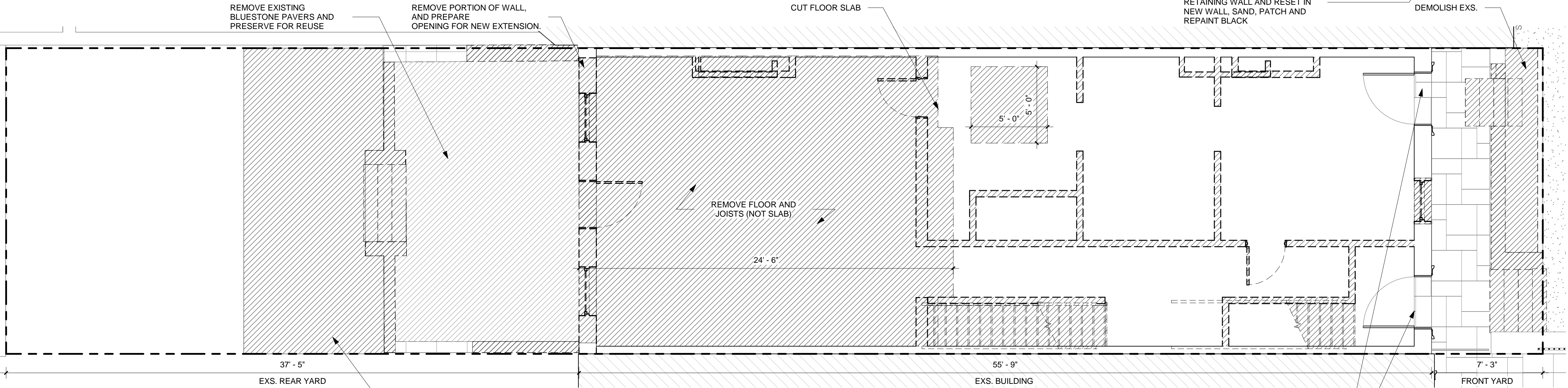
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L-102.00



1 BASEMENT - PROPOSED  
1/4" = 1'-0"



2 BASEMENT-DEMO  
1/4" = 1'-0"

DEMOLITION LEGEND:

	EXISTING TO REMAIN
	REMOVALS

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PROPOSED PLAN LEGEND:

	NEW WALL		MILLWORK		NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED		STONE COUNTER		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR		NEW TILE FLOOR		MA BATHROOM EXHAUST FAN



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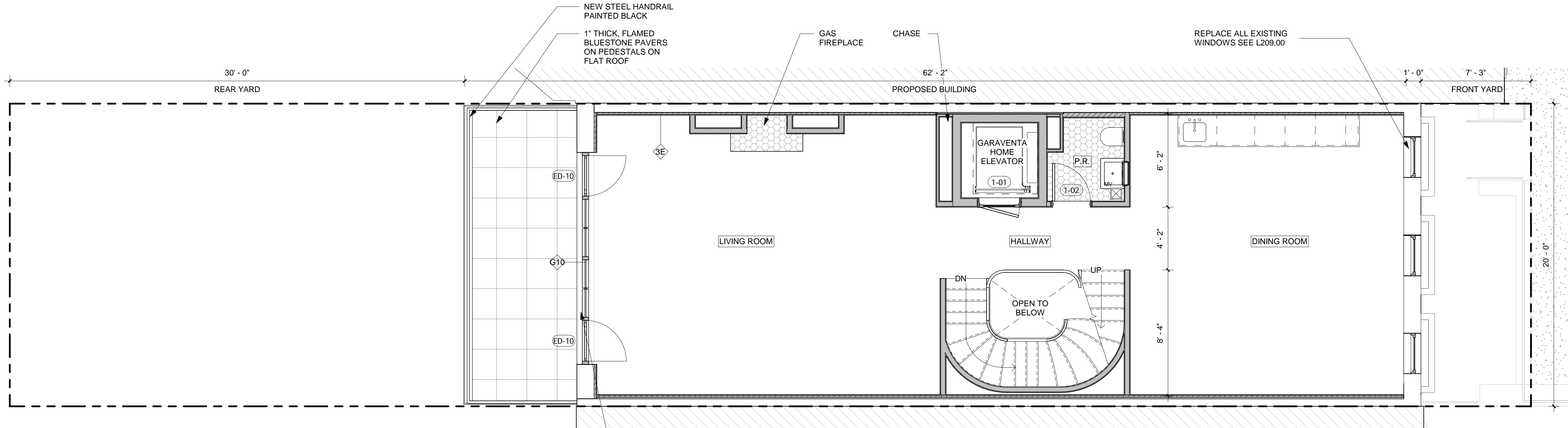
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DEMOLITION & PROPOSED  
PLAN - FIRST FLOOR

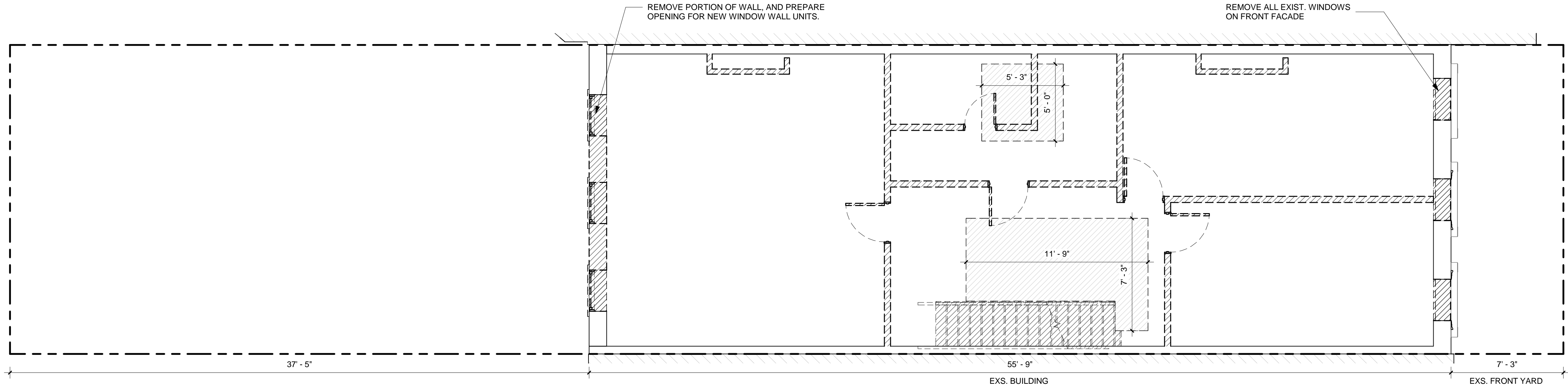
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L-103.00



2 FIRST FLOOR - PROPOSED  
1/4" = 1'-0"



1 FIRST FLOOR - DEMO  
1/4" = 1'-0"

DEMOLITION LEGEND:

- EXISTING TO REMAIN
- REMOVALS

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PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
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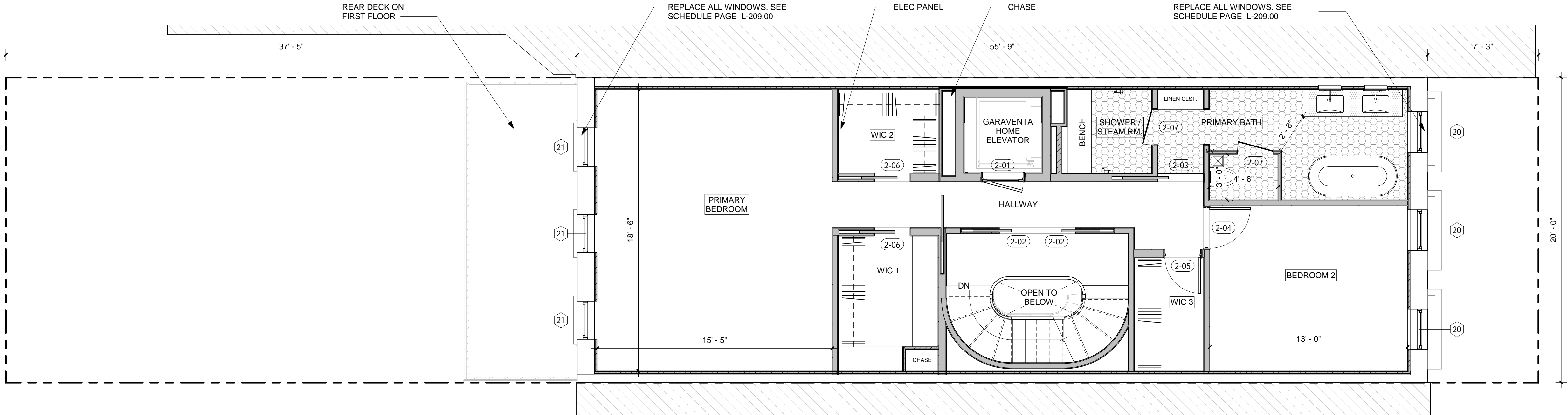
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DEMOLITION & PROPOSED  
PLAN - SECOND FLOOR

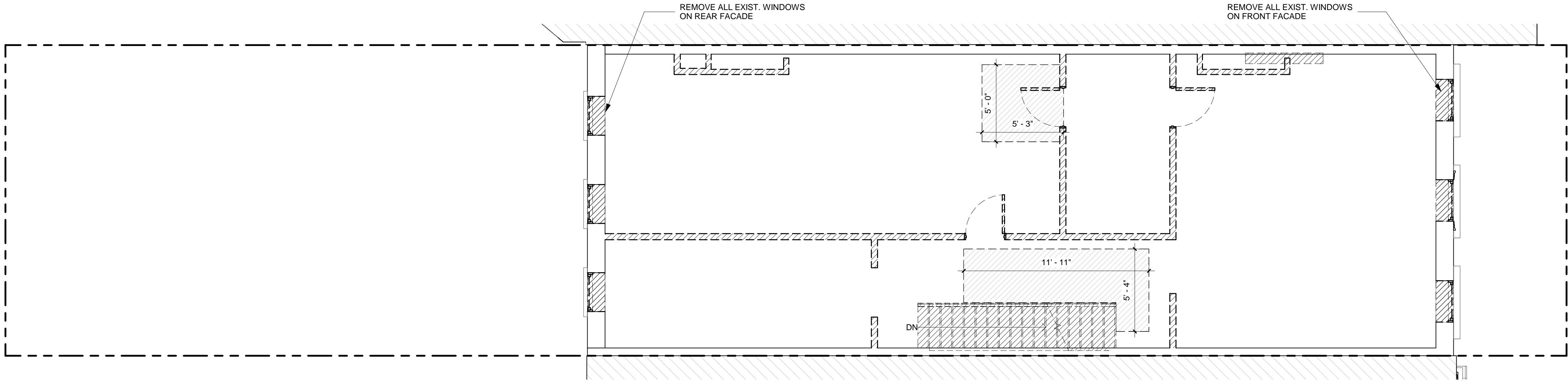
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2 SECOND FLOOR - PROPOSED  
1/4" = 1'-0"



1 SECOND FLOOR - DEMO  
1/4" = 1'-0"

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Tel. (718) 332-2266

LANDMARKS SUBMISSION

01/06/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

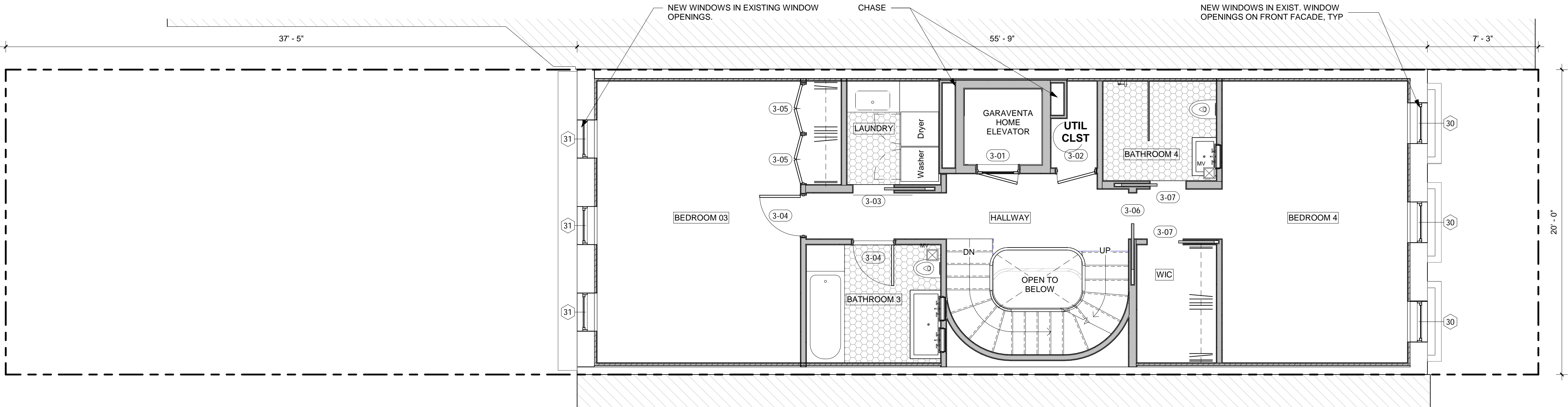
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DEMOLITION & PROPOSED  
PLAN - THIRD FLOOR

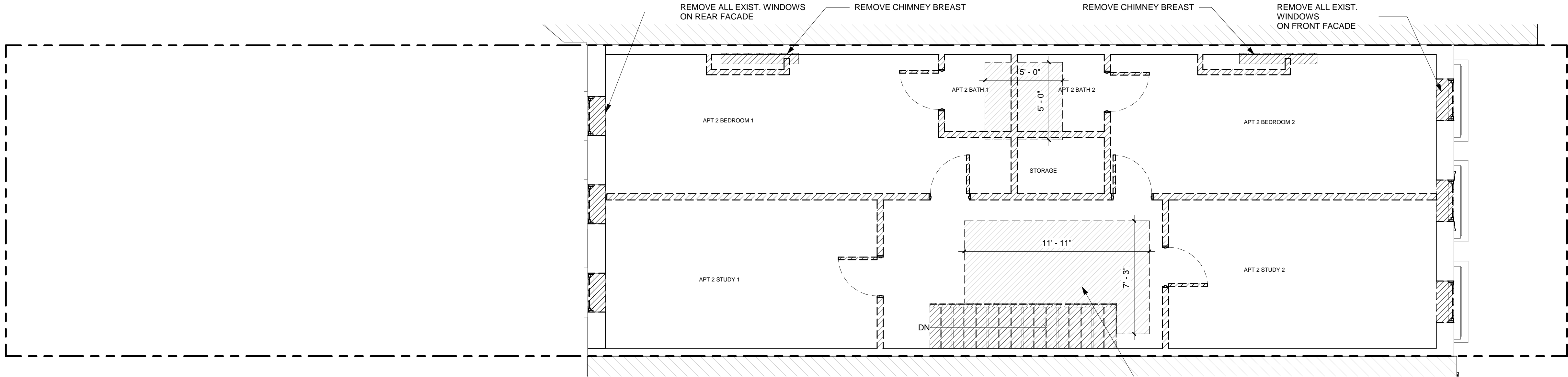
ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.	0147
	SCALE:	AS NOTED	DRAWING NO.:



L-105.00



05 - PROPOSED - THIRD FLOOR  
1/4" = 1'-0"



05 - THIRD FLOOR - DEMO  
1/4" = 1'-0"

DEMOLITION LEGEND:

- EXISTING TO REMAIN
- REMOVALS

NOTES:

- REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENT ETC., AS INDICATED.
- REMOVE ALL RADIATORS
- ALL FRONT & REAR WINDOWS ARE TO BE REPLACED
- ALL FRONT & REAR INTERIOR FURRING WALL TO BE REMOVED, INSULATED AND REFINISHED
- ALL EXISTING FLOOR JOIST FRAMING WILL REMAIN, UNLESS MINOR REPLACEMENT IS REQUIRED DURING CONSTRUCTION.SEE STRUCTURAL DWGS.

PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- MA BATHROOM EXHAUST FAN



156 E 71 ST

156 EAST 71 STREET

Architect

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Owner

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Code Consultant

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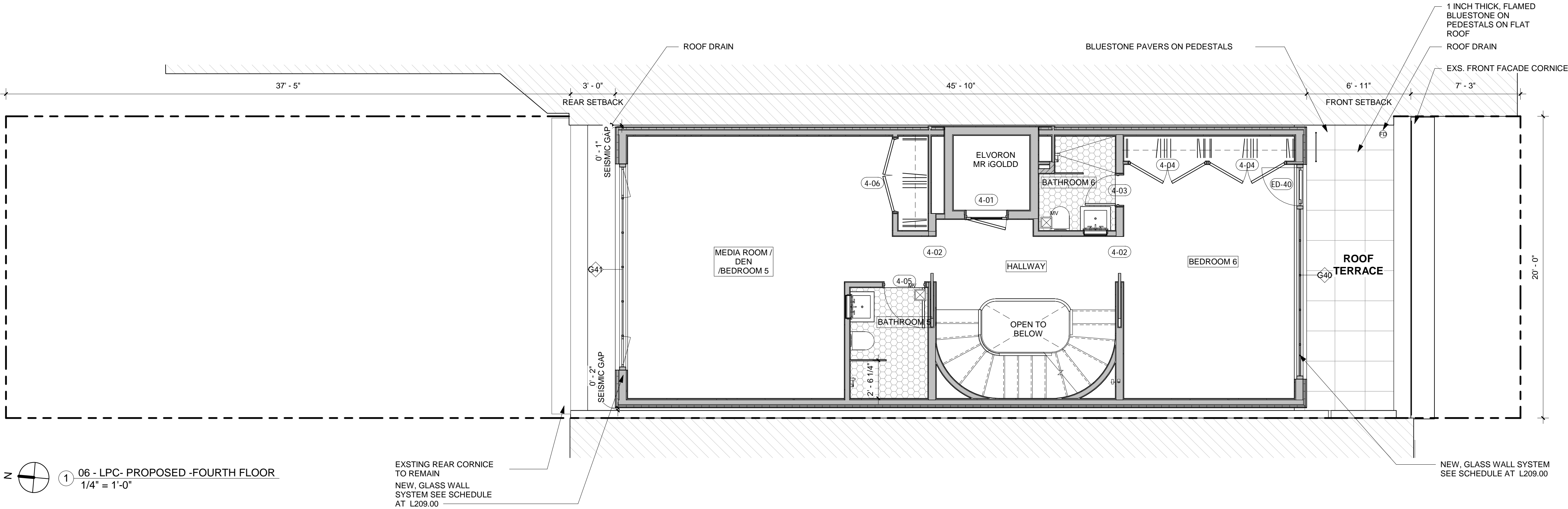
TITLE

PROPOSED PLAN - FOURTH FLOOR

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.:	0147
		SCALE:	AS NOTED
		DRAWING NO.:	

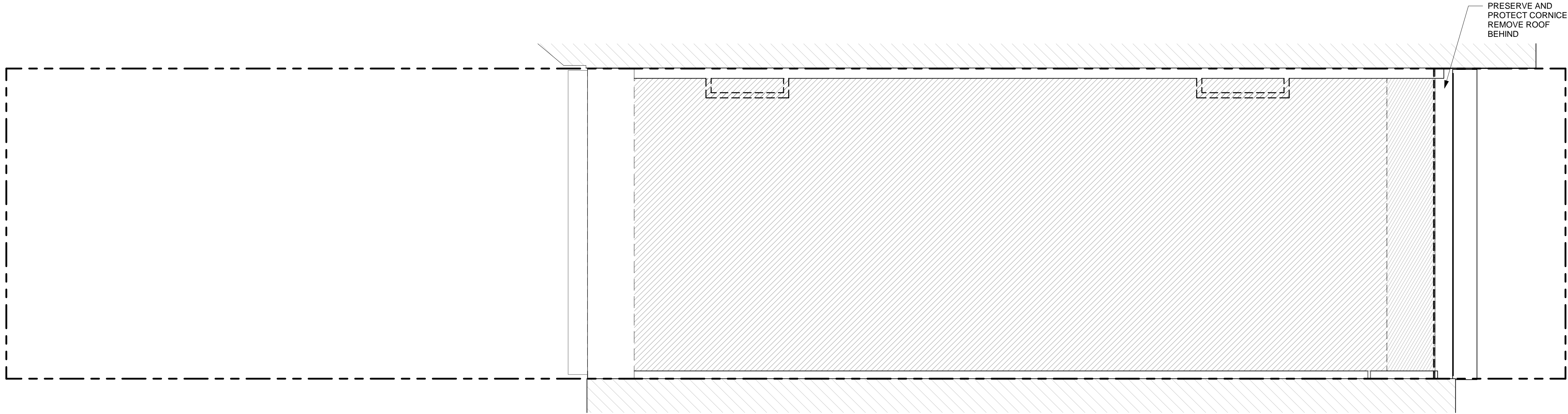


L-106.00



1 06 - LPC- PROPOSED -FOURTH FLOOR  
1/4" = 1'-0"

EXISTING REAR CORNICE  
TO REMAIN  
NEW GLASS WALL  
SYSTEM SEE SCHEDULE  
AT L209.00



2 07- RCP- ROOF - EXSISTING DEMO  
1/4" = 1'-0"

DEMOLITION LEGEND:

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- REMOVALS

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PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- MA BATHROOM EXHAUST FAN



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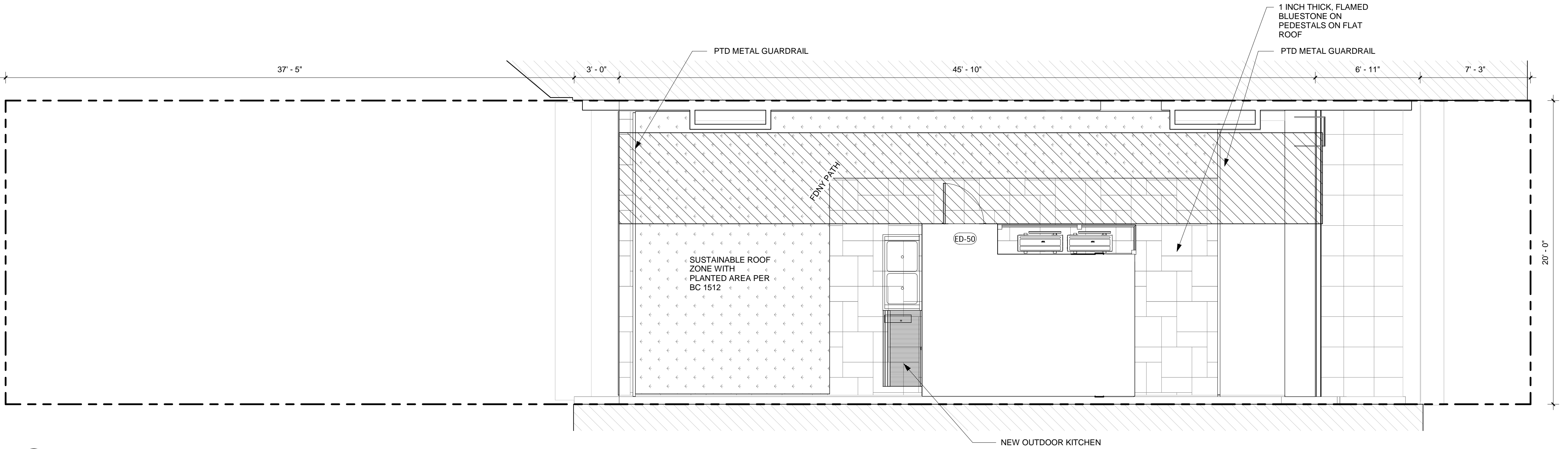
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PROPOSED BULK HEAD AND  
ROOF PLAN

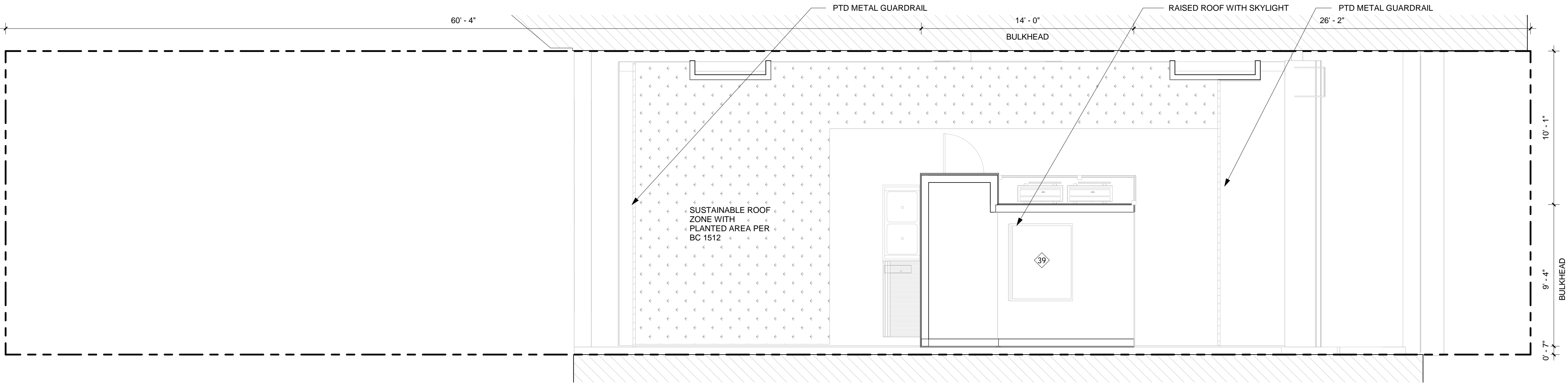
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SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:	AS NOTED	
	DRAWING NO.:		



L-107.00



1 07 - LPC - ROOF  
1/4" = 1'-0"



2 08 LPC - TOP OF BULKHEAD  
1/4" = 1'-0"

DEMOLITION LEGEND:

	EXISTING TO REMAIN
	REMOVALS

NOTES:

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PROPOSED PLAN LEGEND:

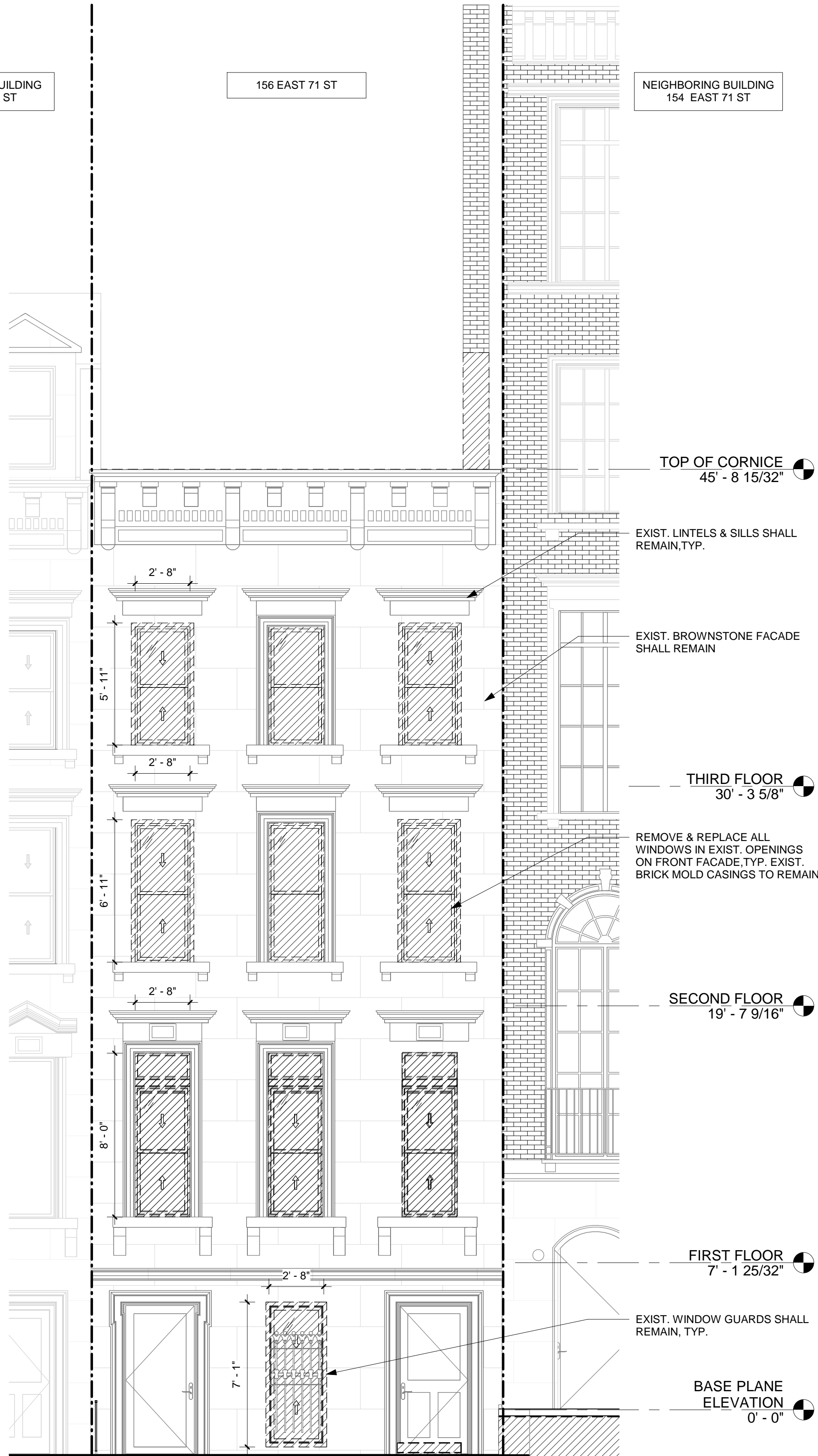
	NEW WALL		MILLWORK		NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED		STONE COUNTER		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR		NEW TILE FLOOR		MA BATHROOM EXHAUST FAN



NEIGHBORING BUILDING  
158 EAST 71 ST

156 EAST 71 ST

NEIGHBORING BUILDING  
154 EAST 71 ST



① LPC - FRONT FACADE - DEMO  
1/4" = 1'-0"

NEW SKYLIGHT ON  
BULKHEAD ROOF

PROPOSED BULKHEAD

NEIGHBORING BUILDING  
158 EAST 71 ST

156 EAST 71 ST

NEIGHBORING BUILDING  
154 EAST 71 ST

NEW HVAC  
CONDENSING UNITS  
MOUNTED ON  
BULKHEAD WALL,  
SCREENED

42" TALL GUARDRAIL,  
PTD BLACK

SLOPING PART OF  
ROOF

NEW BLACK GUTTER  
ON PAINTED BLACK  
FACIA BOARD



MATCH FRONT  
FACADE  
BROWNSTONE  
STUCCO

NEW GLASS WINDOW  
SYSTEM PAINTED  
BLACK

EXISTING CORNICE

REPLACED WINDOWS  
IN ALL EXIST. WINDOW  
OPENINGS ON FRONT  
FACADE, TYP. PAINTED  
BLACK

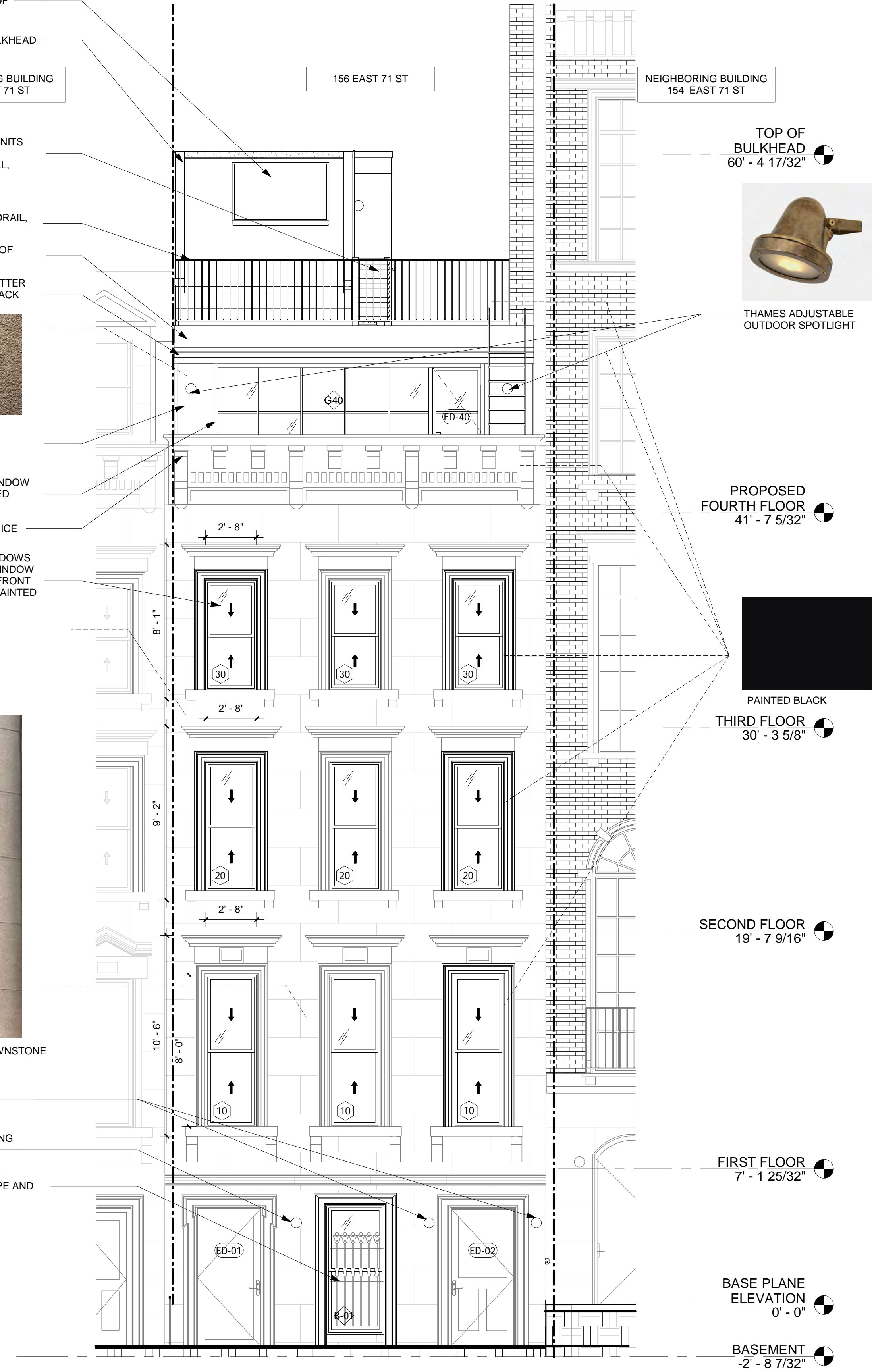


EXISTING BROWNSTONE  
STUCCO

NEW EXTERIOR  
LIGHT

NEW EXTERIOR  
LIGHT IN EXISTING  
LOCATION

EXIST. WINDOW  
GUARDS SCRAPE AND  
PAINT BLACK



② LPC - FRONT FACADE  
1/4" = 1'-0"

## 156 E 71 ST

156 EAST 71 STREET

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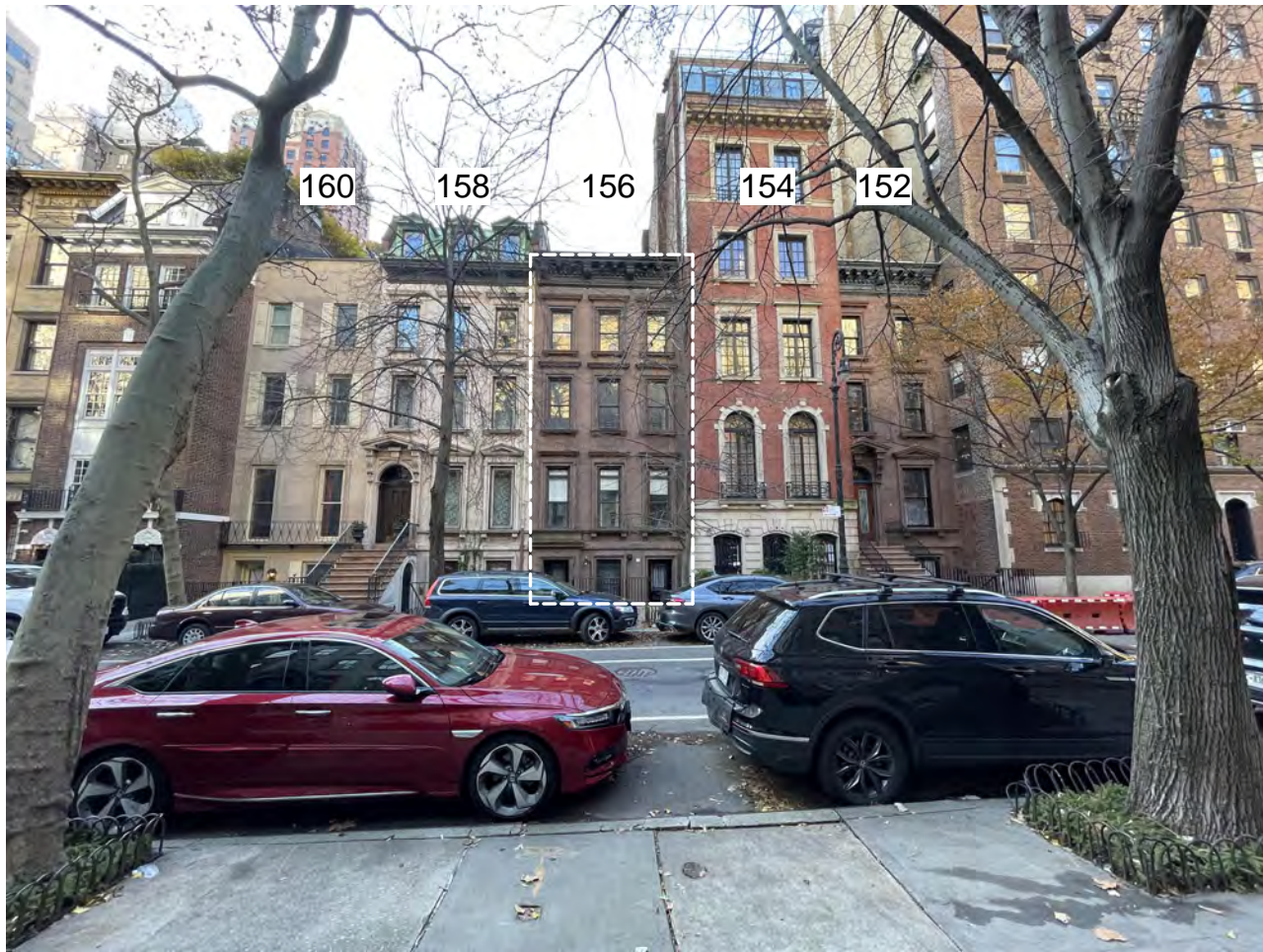
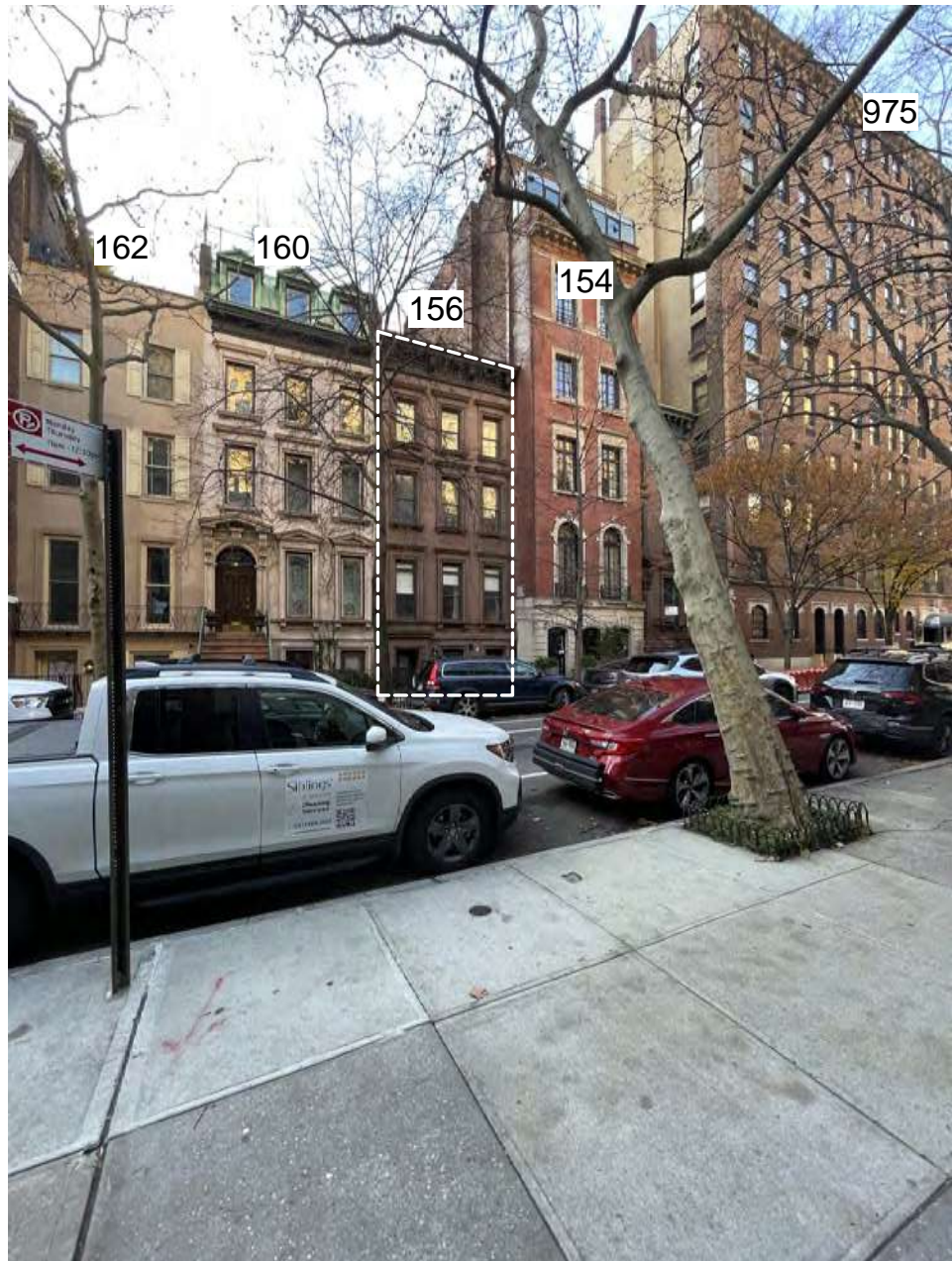
DEMOLITION & PROPOSED  
ELEVATIONS - FRONT  
FACADE

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE		DATE	07/31/24
		JOB NO.	0147
		SCALE	AS NOTED
		DRAWING NO.	



L-201.00





NEIGHBORING BUILDING  
158 EAST 71 ST

156 EAST 71 ST

NEIGHBORING BUILDING  
154 EAST 71 ST



## 156 E 71 ST

156 EAST 71 STREET

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156 EAST 71 STREET

### TITLE

PROPOSED FRONT  
ELEVATION AND  
NEIGHBORING BUILDINGS

ZONING DISTRICT	R8B	BLOCK	1405
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	07/31/24	0147	AS NOTED
			DRAWING NO.:



L-202.00





FRONT FACADE

DOORS TO REMAIN.  
SCRAPE, REPAINT, AND  
REPLACE EXISTING  
GLASS WITH INSULATED  
GLASS



EXIST. BASEMENT FL. WINDOW W/ STONE MOLDINGS & GRILLES

ORIGINAL GRILLES TO REMAIN.  
SCRAPE & PAINT BLACK

ALL STONE  
MOLDINGS  
SHALL REMAIN



PARLOR FLOOR WINDOW W/ STONE MOLDING

ALL STONE  
MOLDINGS  
SHALL REMAIN



SECOND FLOOR WINDOW W/ STONE MOLDING

ALL STONE MOLDINGS  
SHALL REMAIN



EXIST. 3RD FL. WINDOWS W/ STONE MOLDINGS & CORNICE

156 E 71 ST

156 EAST 71 STREET

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156 EAST 71 STREET

TITLE

EXISTING FRONT FACADE  
CLOSE UP PHOTOS

ZONING DISTRICT	R8B	BLOCK	1405
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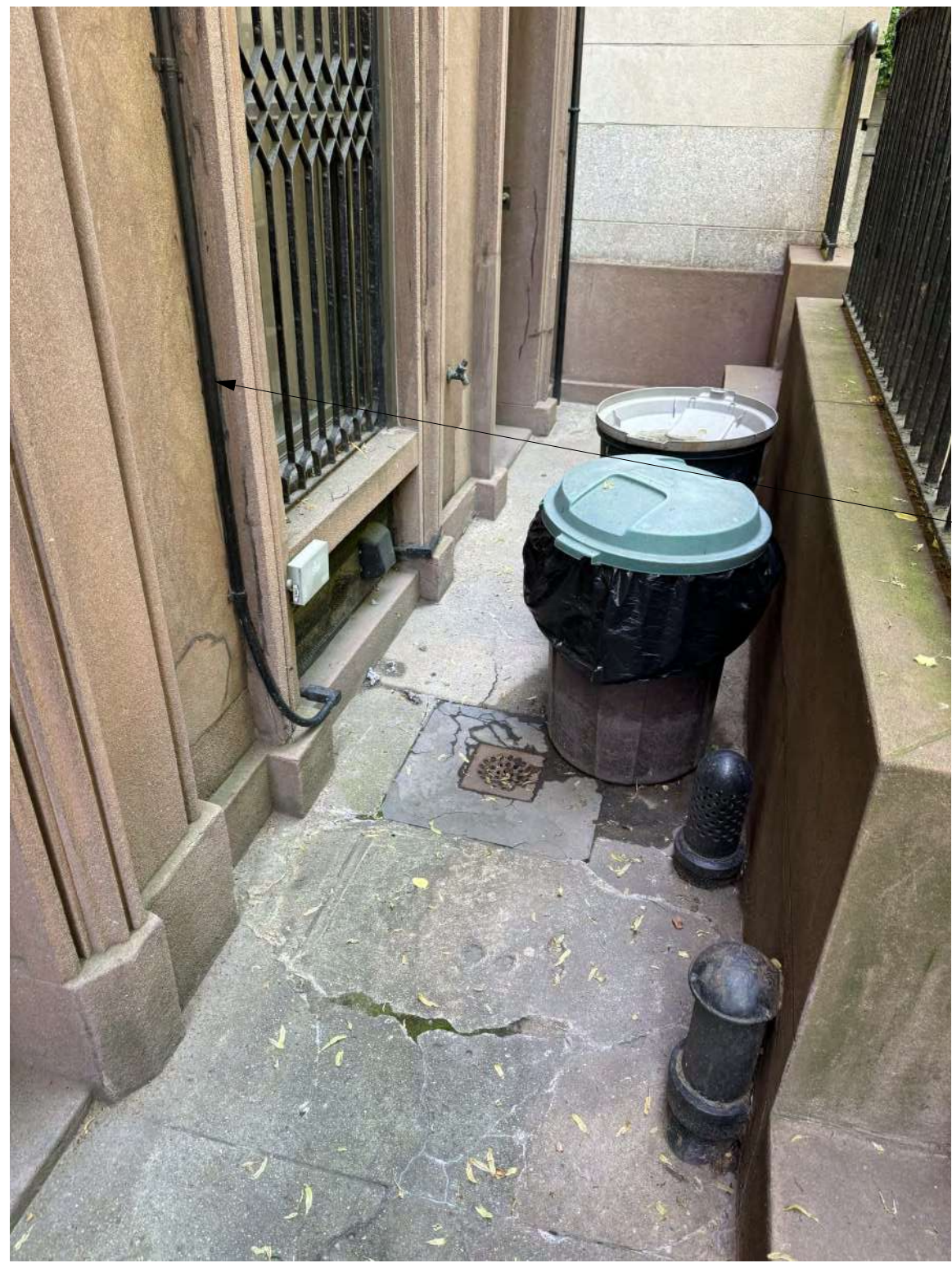


L-203.00





EXISTING FRONT YARD - APARTMENT 2 ENTRANCE, BASEMENT WINDOW & APARTMENT 1 ENTRANCE



EXISTING BASEMENT WINDOW & FRONT ENTRANCE



EXISTING APT 1 ENTRANCE



EXISTING FRONT FACADE

# 156 E 71 ST

156 EAST 71 STREET

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TITLE

FRONT YARD AND AREAWAY

ZONING DISTRICT	R8B	BLOCK	1405
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PROPOSED FRONT FACADE



PROPOSED FRONT FACADE ROOF ADDITION

156 E 71 ST

156 EAST 71 STREET

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TITLE

PROPOSED FRONT FACADE

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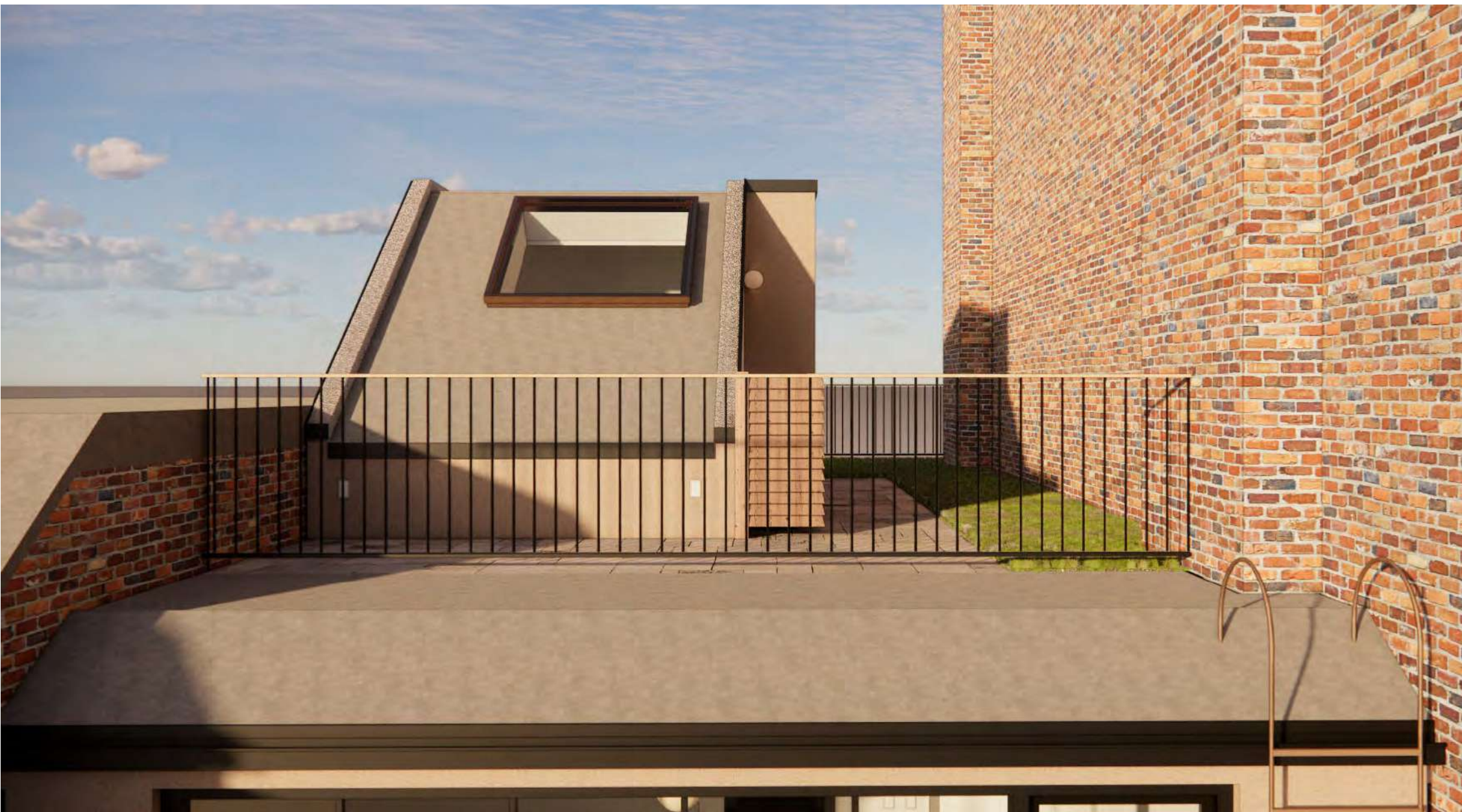


L-205.00





PROPOSED FRONT YARD - GUARDRAILS TO BE REUSED AND/OR REPLICATED TO MATCH EXISTING



DESIGN ROOF GUARDRAIL - NOT VISIBLE FROM THE PUBLIC THROUGHWAY



156 E 71 ST

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FRONT YARD AND AREAWAY

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L-206.00



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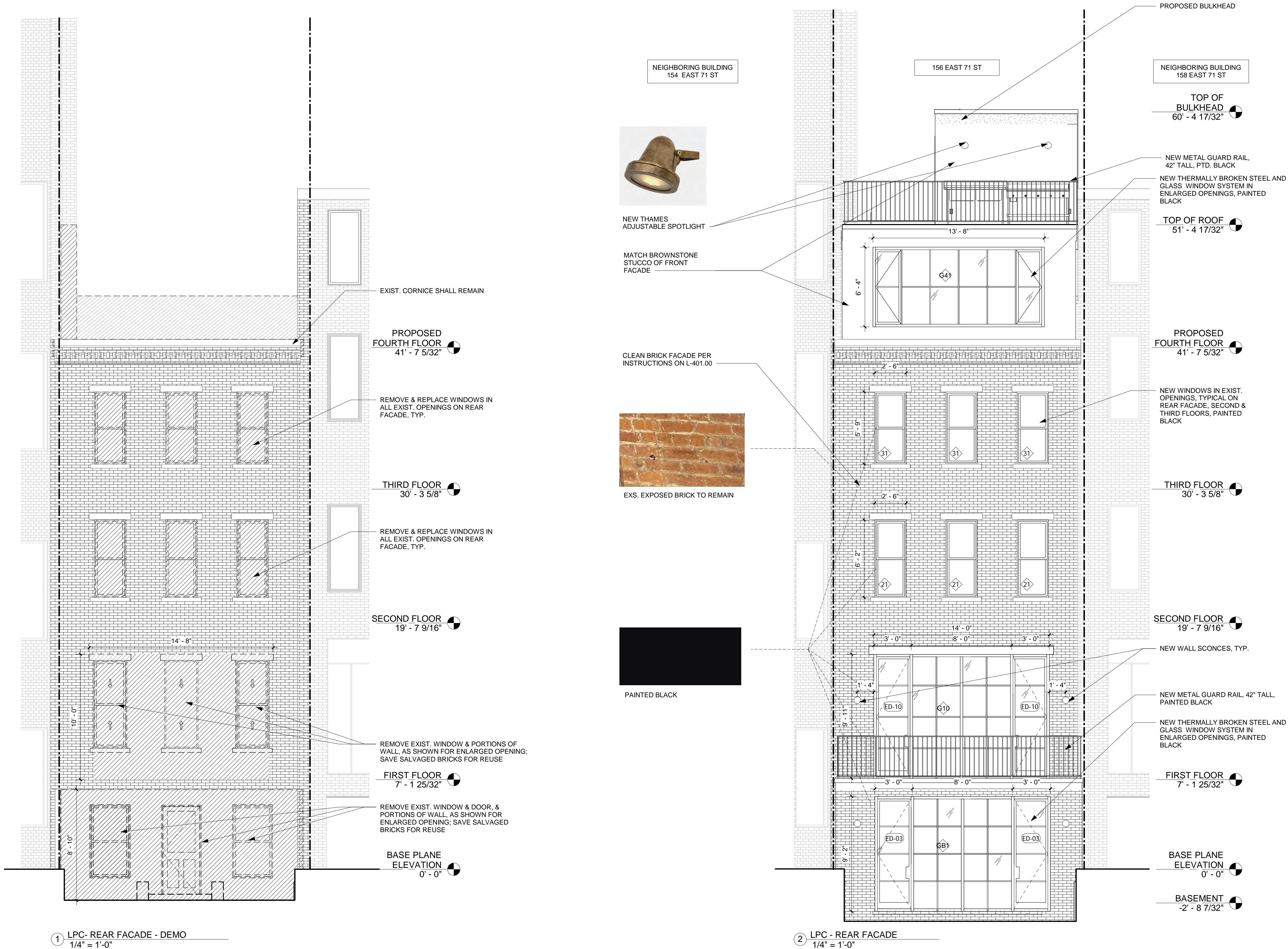
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DEMOLITION & PROPOSED  
ELEVATIONS - REAR FACADE

ZONING DISTRICT	R8B	BLOCK	1405
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SEAL & SIGNATURE	DATE	JOB NO.:	07/31/24
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L-207.00







NEIGHBORING BUILDING  
158 EAST 71 ST

156 EAST 71 ST

NEIGHBORING BUILDING  
154 EAST 71 ST



## 156 E 71 ST

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TITLE

PROPOSED REAR  
ELEVATION AND  
NEIGHBORING BUILDINGS

ZONING DISTRICT	R8B	BLOCK	1405
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SEAL & SIGNATURE		DATE	07/31/24
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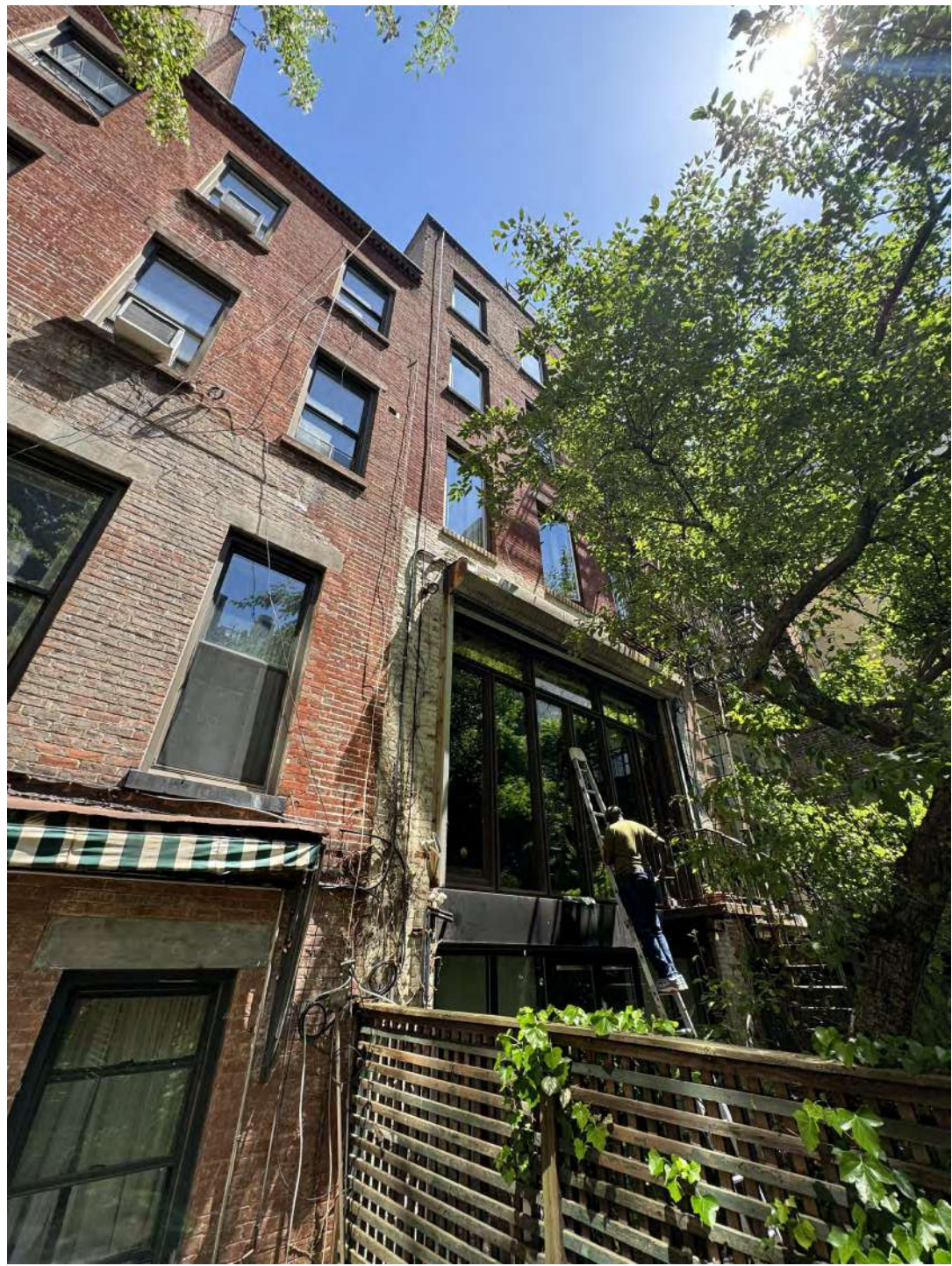


L-208.00





EXSISTING FENCE



VIEW ON NEIGHBORING PROPERTY



EXSISTING RETANING WALL



EXSISTING RETANING WALL



EXSISTING REAR FACADE

156 E 71 ST

156 EAST 71 STREET

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EXSISTING REAR FACADE  
CLOSE-UP PHOTOS

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L-209.00





PROPOSED REAR FACADE



PROPOSED GUARDRAIL REAR EXTENSION

MATCH MATERIAL OF LINTEL WITH  
OTHER LINTELS



PROPOSED REAR EXTENSION

## 156 E 71 ST

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TITLE

PROPOSED REAR FACADE

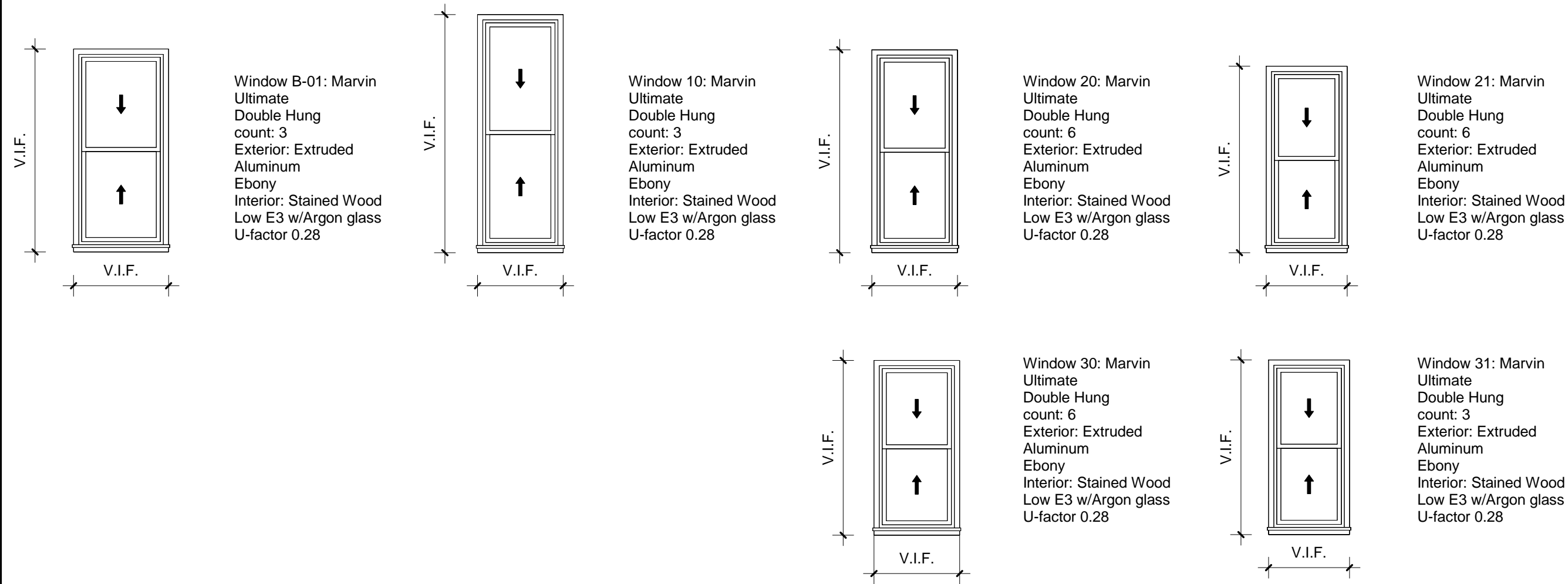
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		SCALE:	AS NOTED
		DRAWING NO.:	



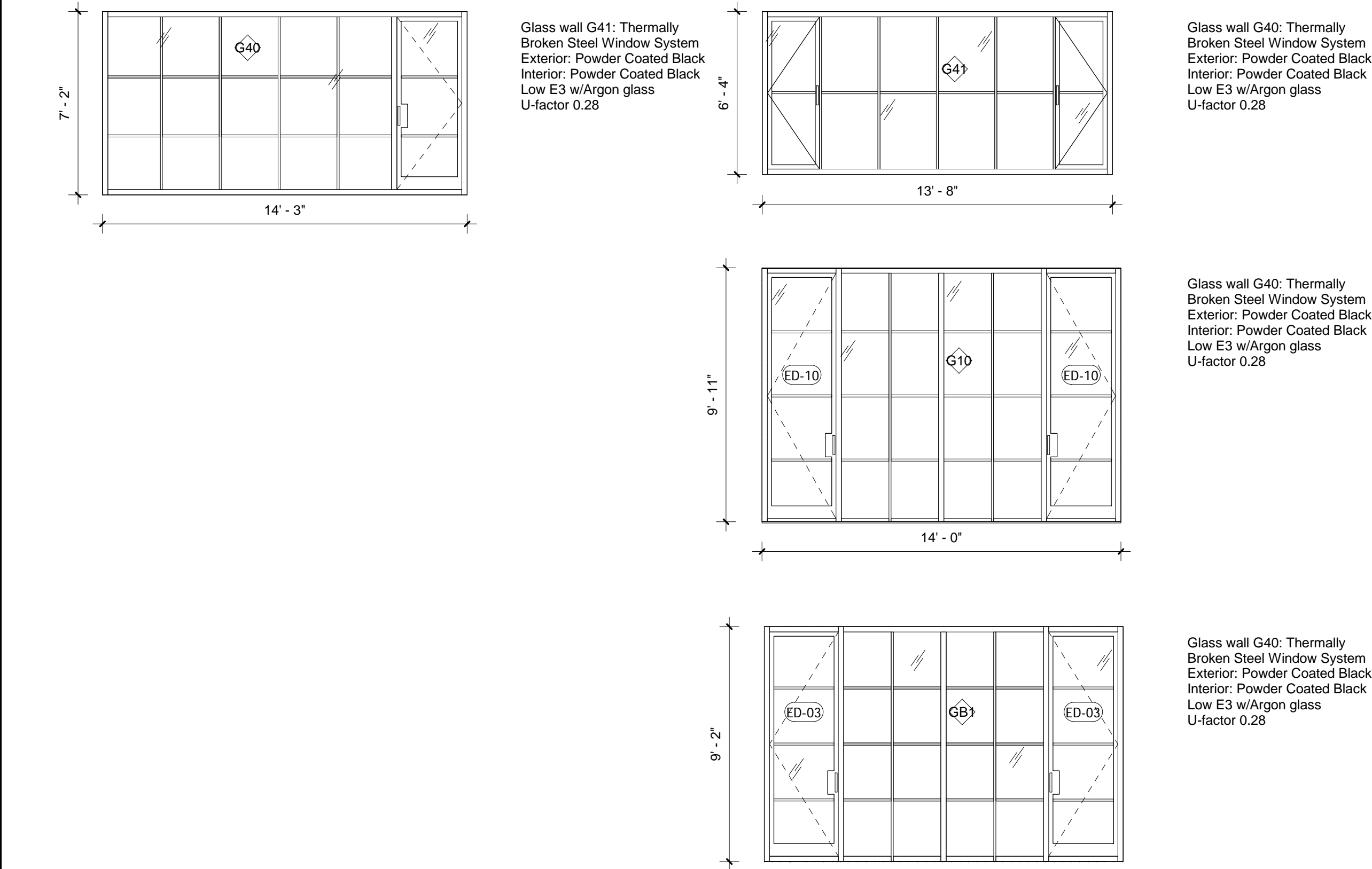
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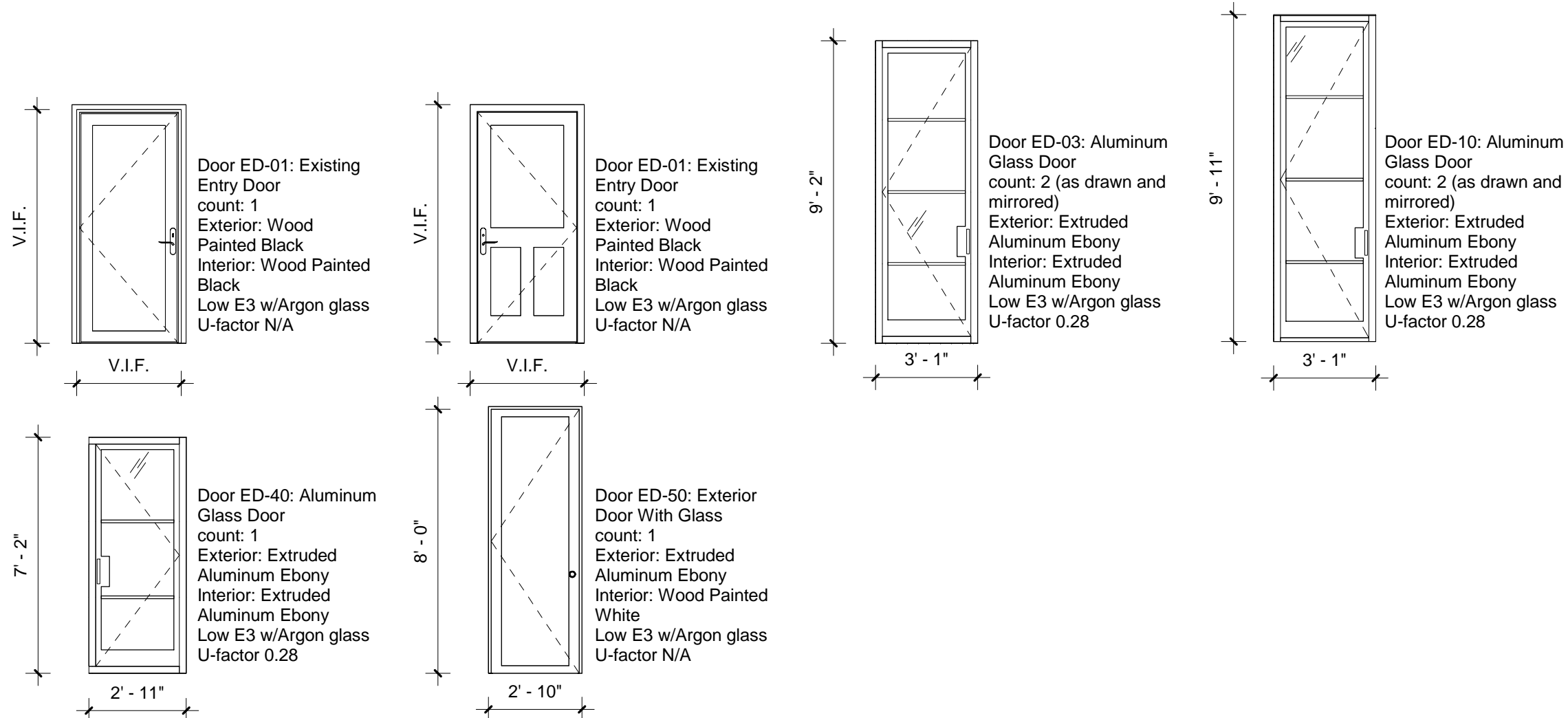
WINDOW SCHEDULE								
Mark	TYPE	Count	Width	Height	Glass	Finish	U-Factor	SHGC
10	DOUBLUE HUNG	3	2' - 8"	8' - 0"	Insulated - Low E3- Argon	EXTRUDED ALUMINUM CLAD PAINETD WOOD	0.28	0.19
20	DOUBLUE HUNG	3	2' - 8"	6' - 9"	Insulated - Low E3- Argon	EXTRUDED ALUMINUM CLAD PAINETD WOOD	0.28	0.19
21	DOUBLUE HUNG	3	2' - 6"	6' - 2"	Insulated - Low E3- Argon	EXTRUDED ALUMINUM CLAD PAINETD WOOD	0.28	0.19
30	DOUBLUE HUNG	3	2' - 8"	5' - 9"	Insulated - Low E3- Argon	EXTRUDED ALUMINUM CLAD PAINETD WOOD	0.28	0.19
31	DOUBLUE HUNG	3	2' - 6"	5' - 9"	Insulated - Low E3- Argon	EXTRUDED ALUMINUM CLAD PAINETD WOOD	0.28	0.19



CURTAIN WALL SCHEDULE									
Type Mark	Description	Length	Height	Area	Glass Type	Finish Material	U-Factor CW	SHGC CW	
G10	THERMALLY BROKEN STEEL WINDOW SYSTEM	14' - 0"	10' - 0"	140 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	
G41	THERMALLY BROKEN STEEL WINDOW SYSTEM	13' - 8"	6' - 4 1/4"	87 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	
G40	THERMALLY BROKEN STEEL WINDOW SYSTEM	14' - 4 1/16"	7' - 1 27/32"	102 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	
GB1	THERMALLY BROKEN STEEL WINDOW SYSTEM	14' - 0"	10' - 0"	128 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	

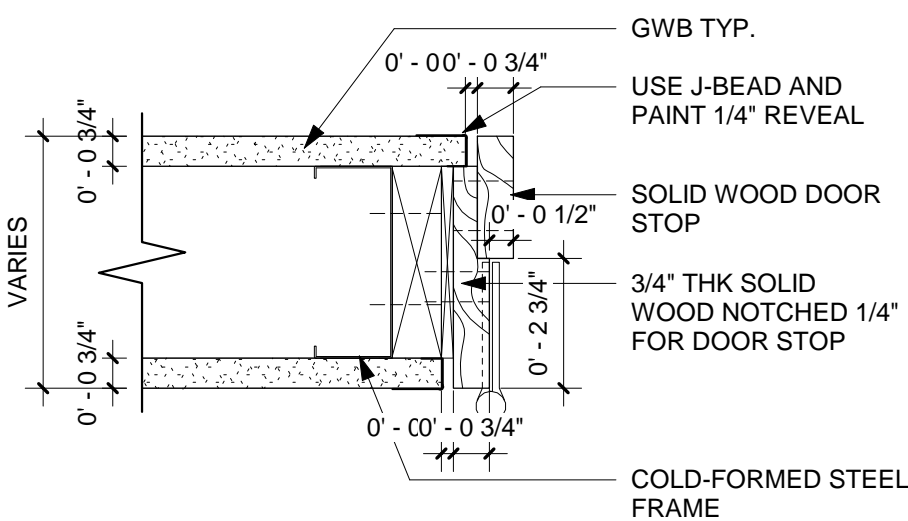


EXTERIOR DOOR SCHEDULE									
Door Number	Count	Description	Width	Height	Material	Finish	Fire Rating	U-Factor	
ED-01	1	Exiting Entry Door	3' - 4"	7' - 3"	Painted Wood with Window	Painted	N/A	N/A	
ED-02	1	Exiting Entry Door	3' - 4"	7' - 3"	Painted Wood with Window	Painted	N/A	N/A	
ED-03	2	Aluminum Glass Door	<varies>	8' - 9"	Aluminum	Powder Coated	N/A	0.28	
ED-10	2	Aluminum Glass Door	<varies>	9' - 7"	Aluminum	Powder Coated	N/A	0.28	
ED-40	1	Aluminum Glass Door	2' - 6 3/8"	6' - 8 27/32"	Aluminum	Powder Coated	N/A	0.28	



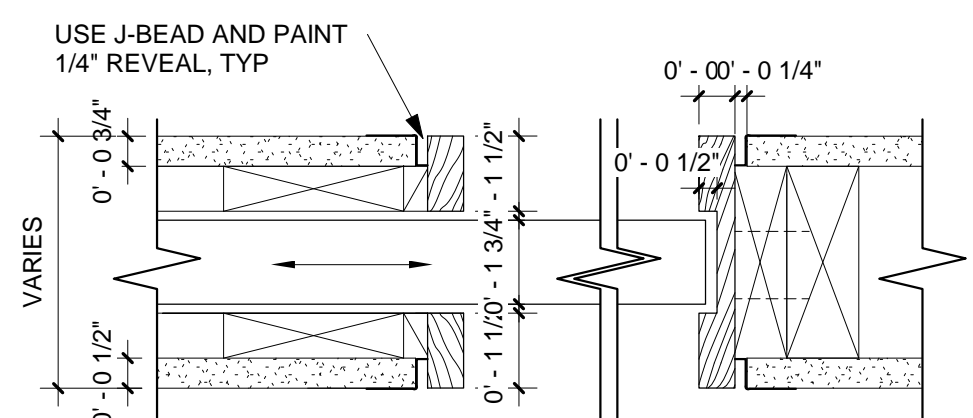
INTERIOR DOOR SCHEDULE							
Door Number	Count	Description	Width	Height	Thickness	Finish	Fire Rating
C-01	1	Glazed Elevator Door	2' - 8"	6' - 2"	0' - 1 3/4"	PAINTED	N/A
C-03	1	Pocket Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
C-04	2	Interior Door	2' - 8"	6' - 3"	0' - 1 3/4"	PAINTED	N/A
BM-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
BM-02	3	Interior Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
BM-03	1	Interior Door	5' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
BM-04	2	Closet Door	4' - 10"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
1-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
1-02	1	Interior Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
2-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
2-02	2	Pocket Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
2-03	2	Pocket Door	3' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
2-04	1	Interior Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
2-05	1	Interior Door	2' - 4"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
2-06	2	Pocket Door	2' - 4"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
2-07	2	Full Glass Door	2' - 4"	8' - 0"	0' - 0 1/2"	GLASS	N/A
3-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
3-02	1	Interior Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
3-03	1	Pocket Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
3-04	2	Interior Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
3-05	2	Closet Door	3' - 2"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
3-06	1	Pocket Door	3' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
3-07	2	Pocket Door	2' - 4"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
4-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
4-02	2	Pocket Door	3' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
4-03	1	Interior Door	2' - 0"	8' - 0"	0' - 1 3/8"	PAINTED	N/A
4-04	2	Closet Door	5' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
4-05	1	Interior Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A
4-06	1	Closet Door	4' - 10"	8' - 0"	0' - 1 3/4"	PAINTED	N/A

## INTERIOR DOOR DETAILS



PLAN DETAIL - DOOR FRAME W/REVEAL

Scale: 3" = 1'-0"



PLAN DETAIL - TYP. POCKET DOOR

Scale: 3" = 1'-0"

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## PRICING SET 01.06.2025

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

## WINDOW- AND DOOR SCHEDULES AND TYPICAL DETAILS

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE		DATE	01/06/2025
		JOB NO.:	147
		SCALE:	AS NOTED
		DRAWING NO.:	

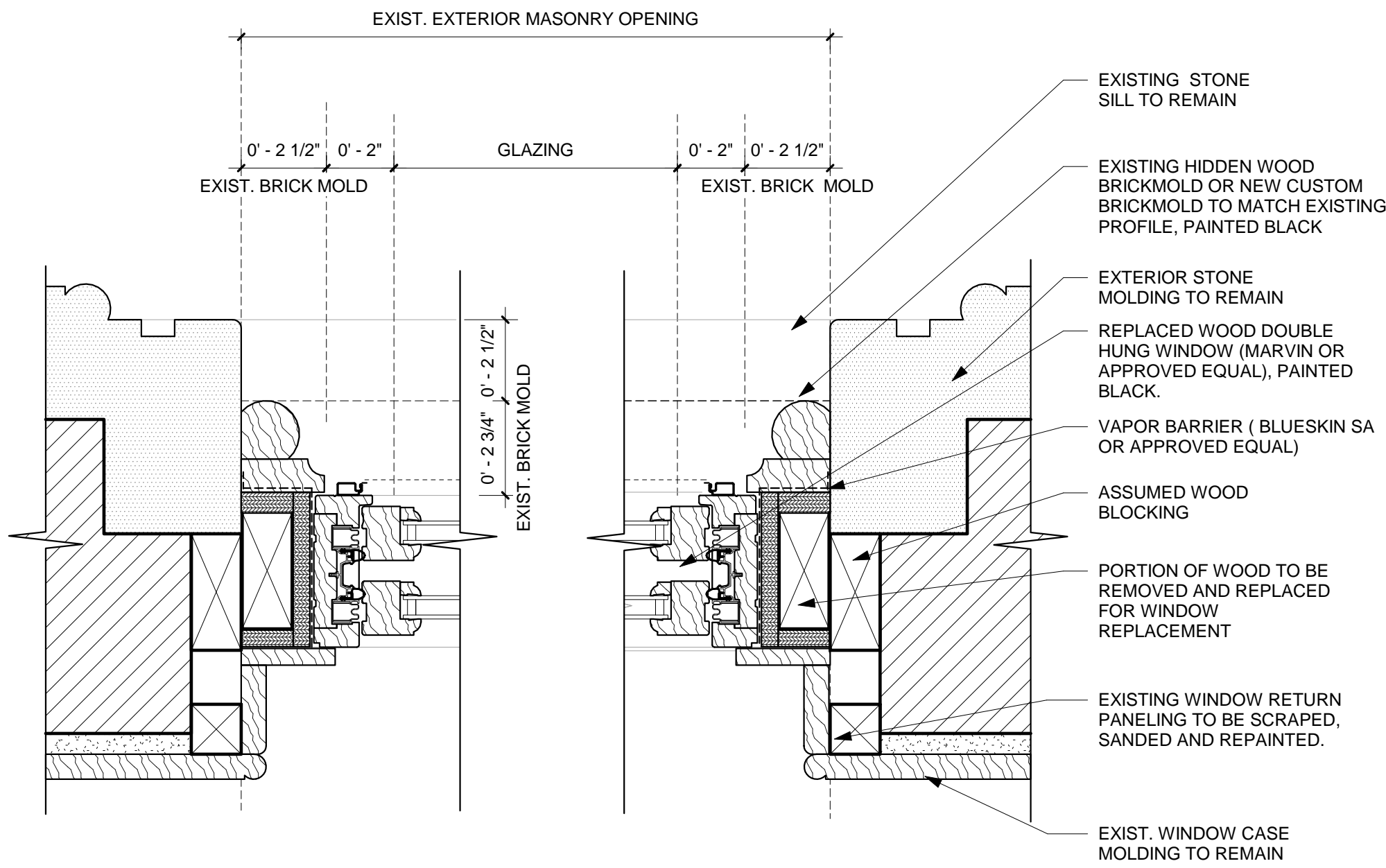


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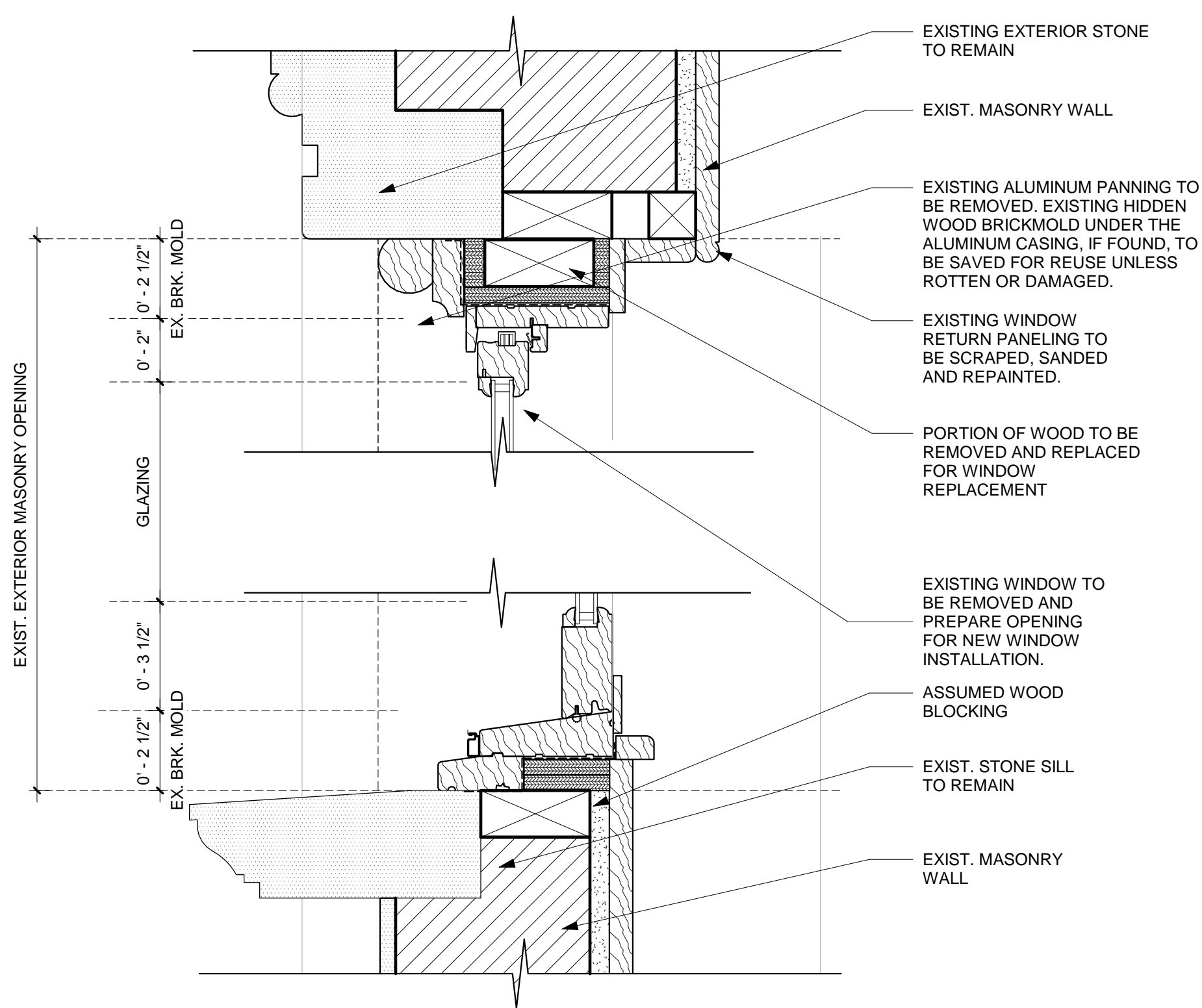
© BOWERBIRD ARCHITECTS - DO NOT SCALE FROM DRAWINGS



PROPOSED DOUBLE HUNG WINDOW DETAILS

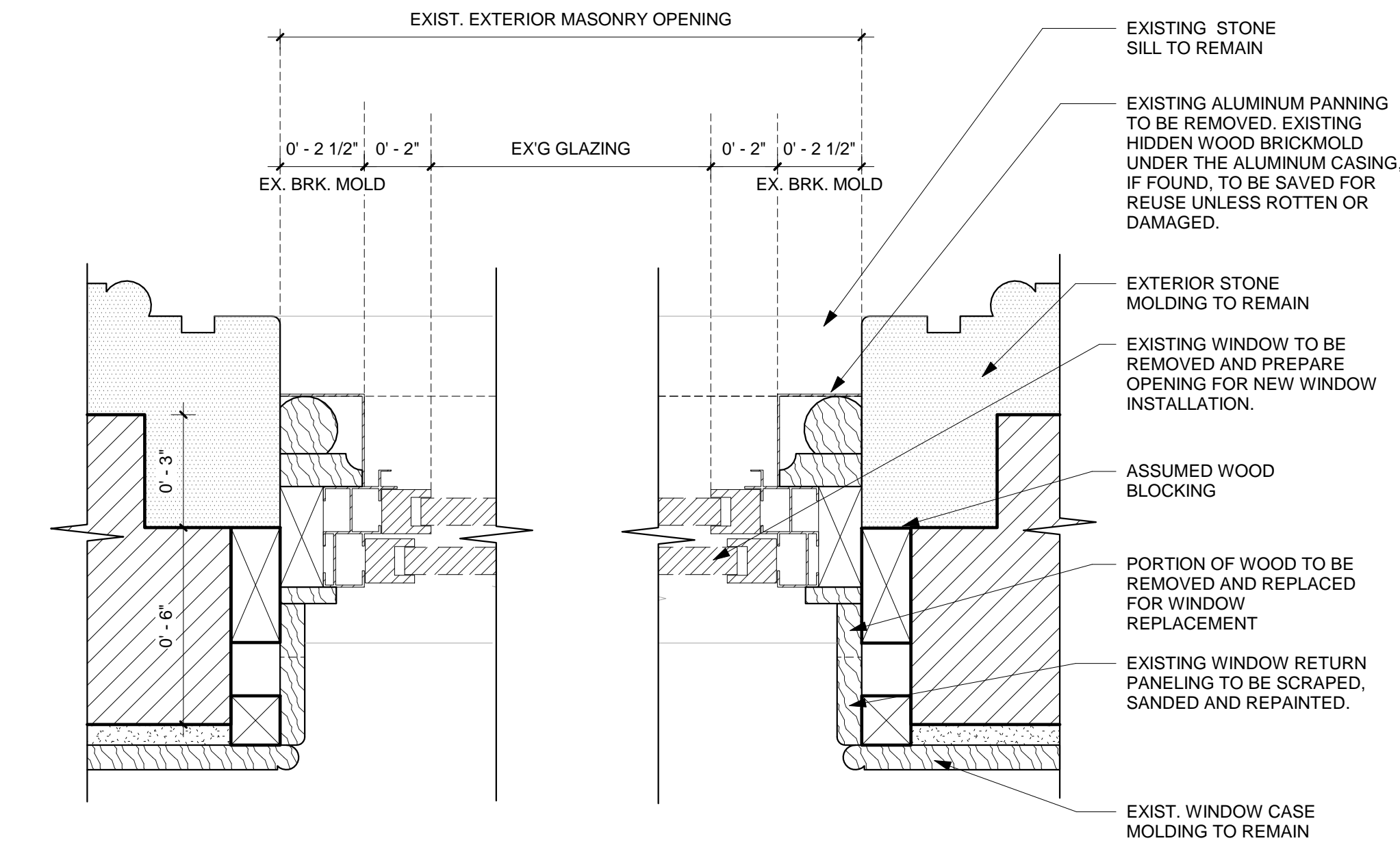


③ TYPICAL DOUBLE HUNG WINDOW  
PROPOSED PLAN-167  
3" = 1'-0"

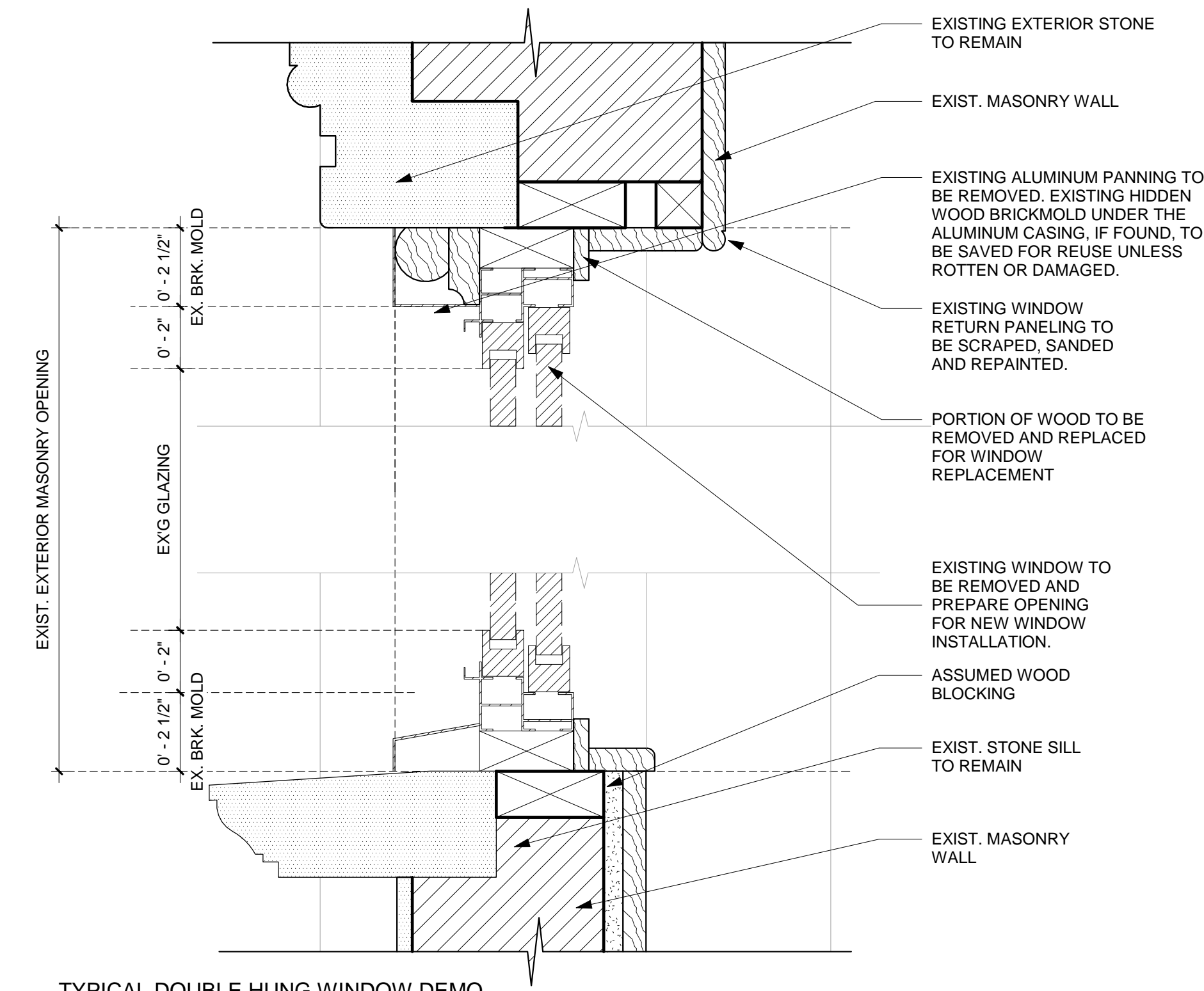


④ TYPICAL DOUBLE HUNG WINDOW  
PROPOSED SECTION-167  
3" = 1'-0"

EXISTING / DEMO DOUBLE HUNG WINDOW DETAIL



① TYPICAL DOUBLE HUNG WINDOW DEMO  
PLAN-167  
3" = 1'-0"



② TYPICAL DOUBLE HUNG WINDOW DEMO  
SECTION-167  
3" = 1'-0"

EXAMPLE BRICK MOLD



PICTURES TAKEN AT 152 EAST 71ST STREET WITH SIMILAR NEW BRICKMOLD AS PROPOSED

156 E 71 ST

156 EAST 71 STREET

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LANDMARKS SUBMISSION

01/06/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

TYPICAL WINDOW DETAILS

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.:	07/31/24
		SCALE:	0147
		DRAWING NO.:	AS NOTED



L-212.00



FIRST FLOOR DOUBLE HUNG WINDOW CLOSE UP PHOTOS



BASEMENT DOUBLE HUNG WINDOW & EXISTING UNIT ENTRANCES

REMOVE EXISTING  
WRITING ON DOOR.



REPLACE EXISTING EXTERIOR  
LIGHTING



REMOVE ELECTRICAL BOX



EXISTING HIDDEN WOOD BRICKMOLD UNDER  
THE ALUMINUM CASING TO BE SAVED FOR  
REUSE UNLESS ROTTEN OR DAMAGED.



KEEP EX'G WINDOW GUARD @ BASEMENT  
WINDOW

156 E 71 ST

156 EAST 71 STREET

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156 EAST 71 STREET

TITLE

EXISTING FRONT FACADE  
TYPICAL WINDOW CLOSE-UP  
PHOTOS

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE		DATE	07/31/24
		JOB NO.:	0147
		SCALE:	AS NOTED
		DRAWING NO.:	



L-213.00





THE EXISTING SECONDARY ENTRANCE DOOR WILL REMAIN AND BE REPAIRED BUT WILL FUNCTION AS A WINDOW RATHER THAN AS A DOOR.



EX ENTRY DOOR TO REMAIN AND BE USED AS THE PRIMARY ENTRANCE



EXISTING LIGHT TO BE REPLACED AND CONDUIT TO BE REROUTED IN THE WALL



# 156 E 71 ST

156 EAST 71 STREET

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DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

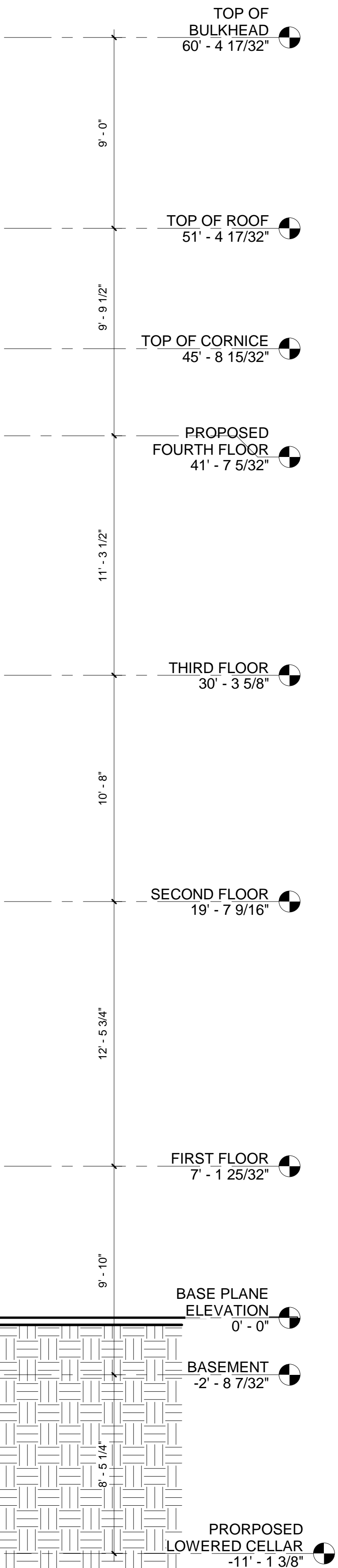
EXISTING FRONT FACADE  
ENTRY DOOR CLOSE-UP  
PHOTOS

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.:	07/31/24
	SCALE:	AS NOTED	
	DRAWING NO.:		



L-214.00





1 LONGITUDINAL SECTION - PROPOSED  
1/4" = 1'-0"

## 156 E 71 ST

156 EAST 71 STREET

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01/06/2025

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DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

PROPOSED BUILDING  
SECTION

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE		DATE	07/31/24
		JOB NO.:	0147
		SCALE:	AS NOTED
		DRAWING NO.:	



L-301.00





1



2



3



4



5



10



PROPOSED ROOF PLAN



6



9



8



7



ARIEL VIEW

156 E 71 ST

156 EAST 71 STREET

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LANDMARKS SUBMISSION

01/06/2025

DOB APPLICATION NO.: B01026912-11

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DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

SIGHT LINE ANALYSIS ROOF  
PH

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.:	07/31/24
		SCALE:	0147
		DRAWING NO.:	AS NOTED



L-302.00



156 E 71 ST

156 EAST 71 STREET

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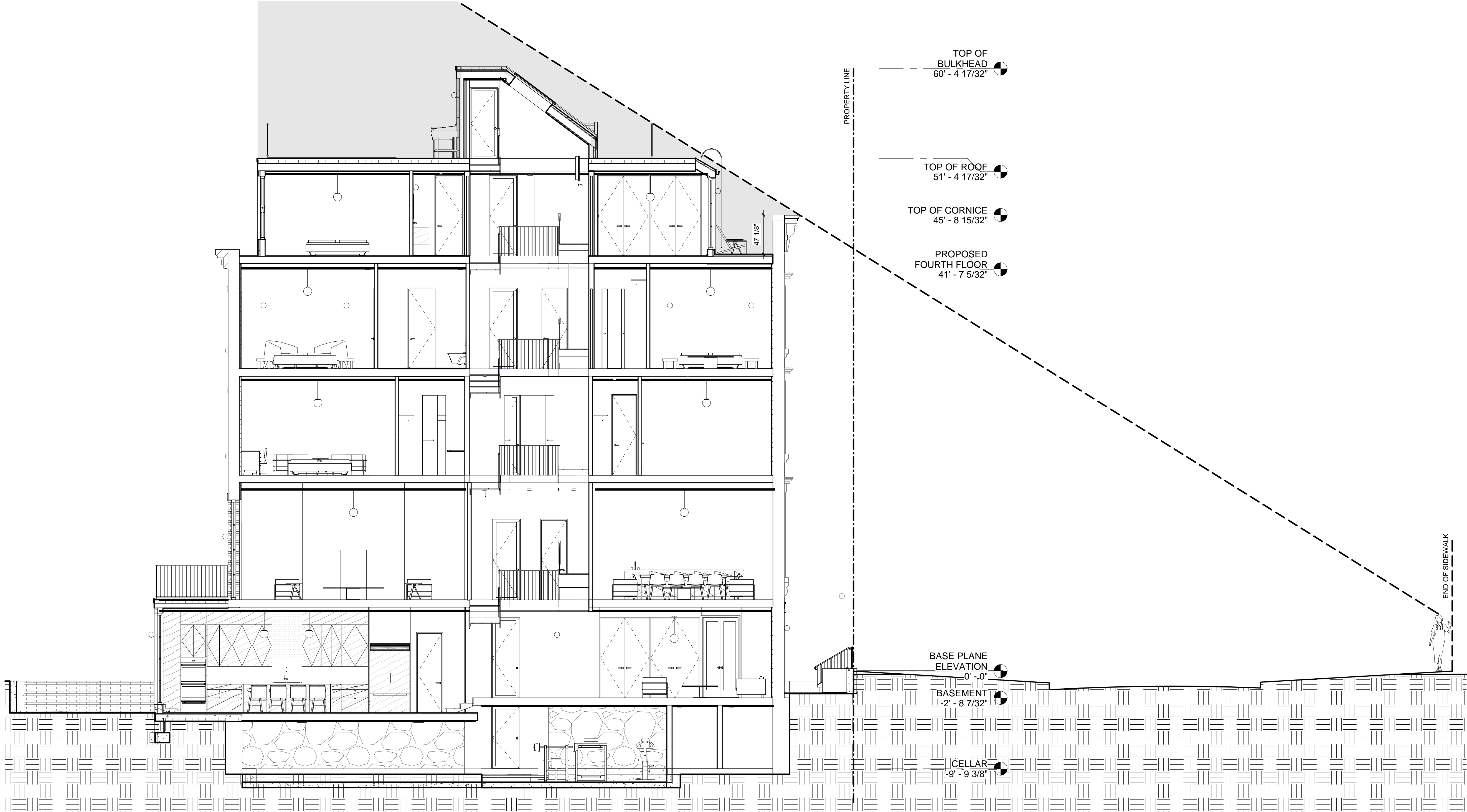
TITLE

ROOF VISIBILITY DIAGRAM

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.:	07/31/24
	SCALE:	AS NOTED	
	DRAWING NO.:		



L-303.00



1 ROOF VISIBILITY DIAGRAM  
3/16" = 1'-0"



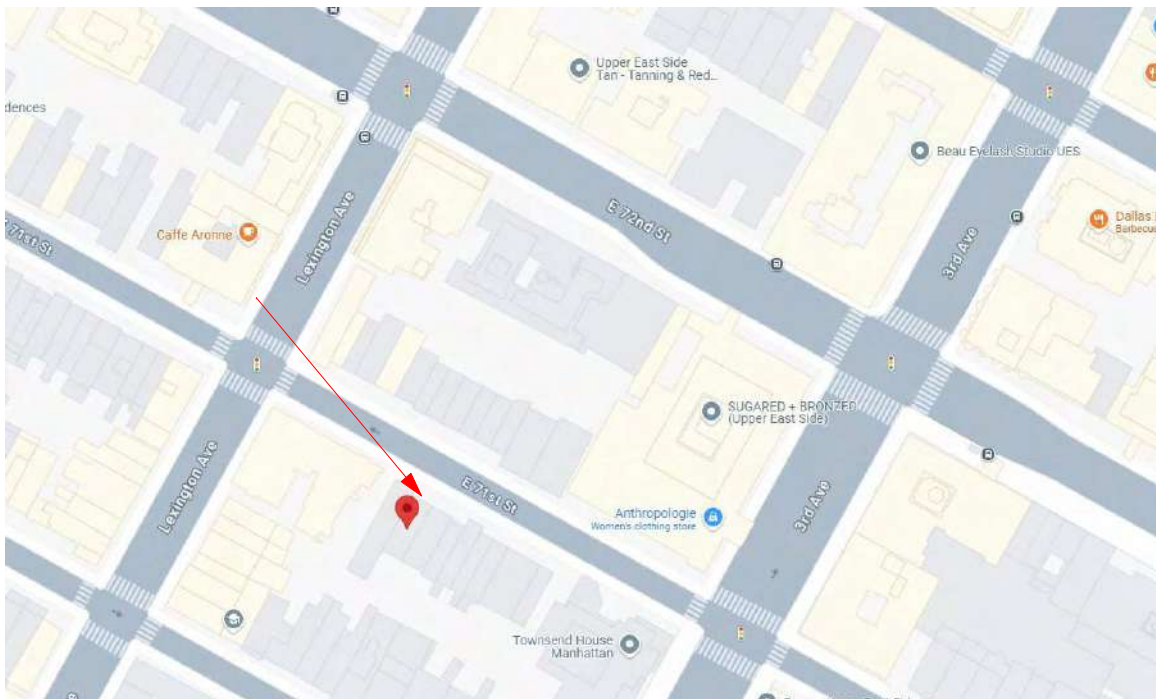
PHOTOS SHOWING PROPS THATE WERE PREPARED TO STUDY ROOFTOP ADDITION VISIBILITY



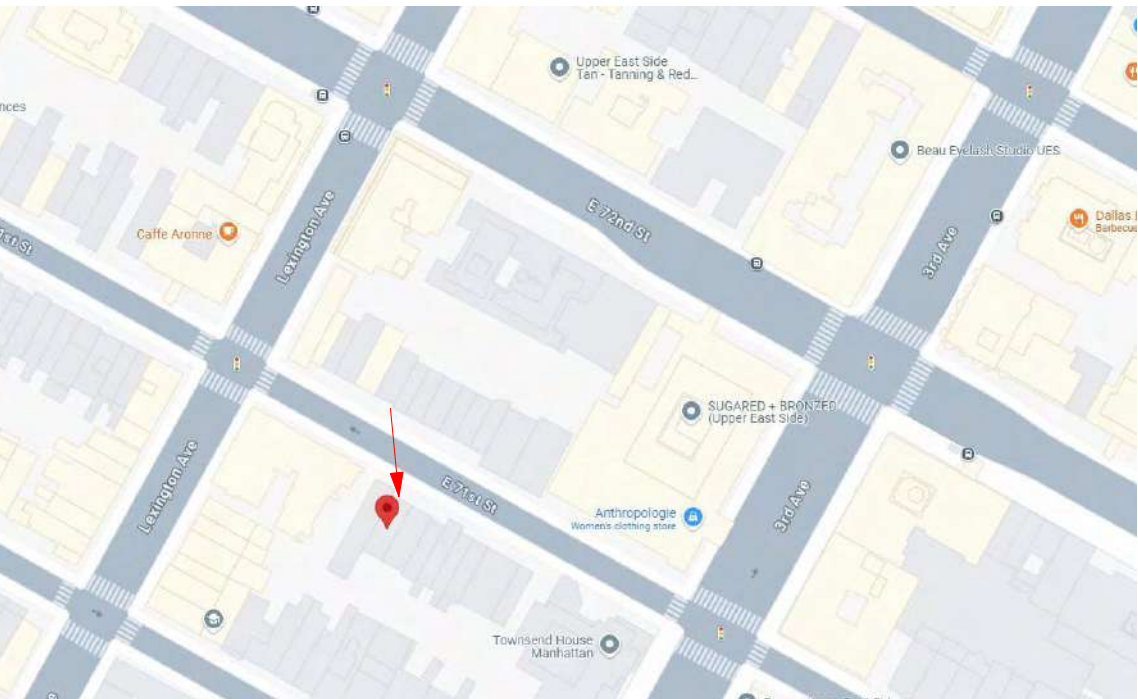
LOOKING EAST



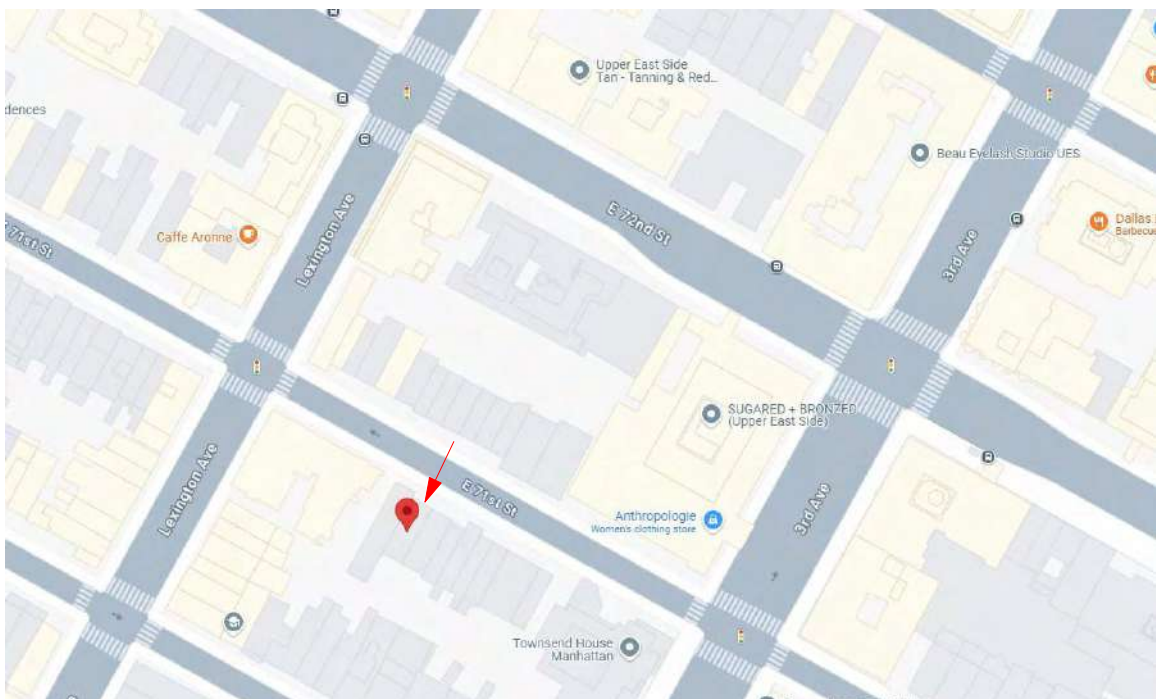
LOOKING WEST



VIEW FROM LEXINGTON AVENUE - NO ROOFTOP EXTENSION VISIBILITY



VIEW FROM SOUTHEAST FROM THE OPPOSITE SIDEWALK - NO ROOFTOP EXTENSION VISIBILITY



VIEW ACROSS FROM THE OPPOSITE SIDEWALK - NO ROOFTOP EXTENSION VISIBILITY

156 E 71 ST

156 EAST 71 STREET

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PROJECT

156 EAST 71 STREET

TITLE

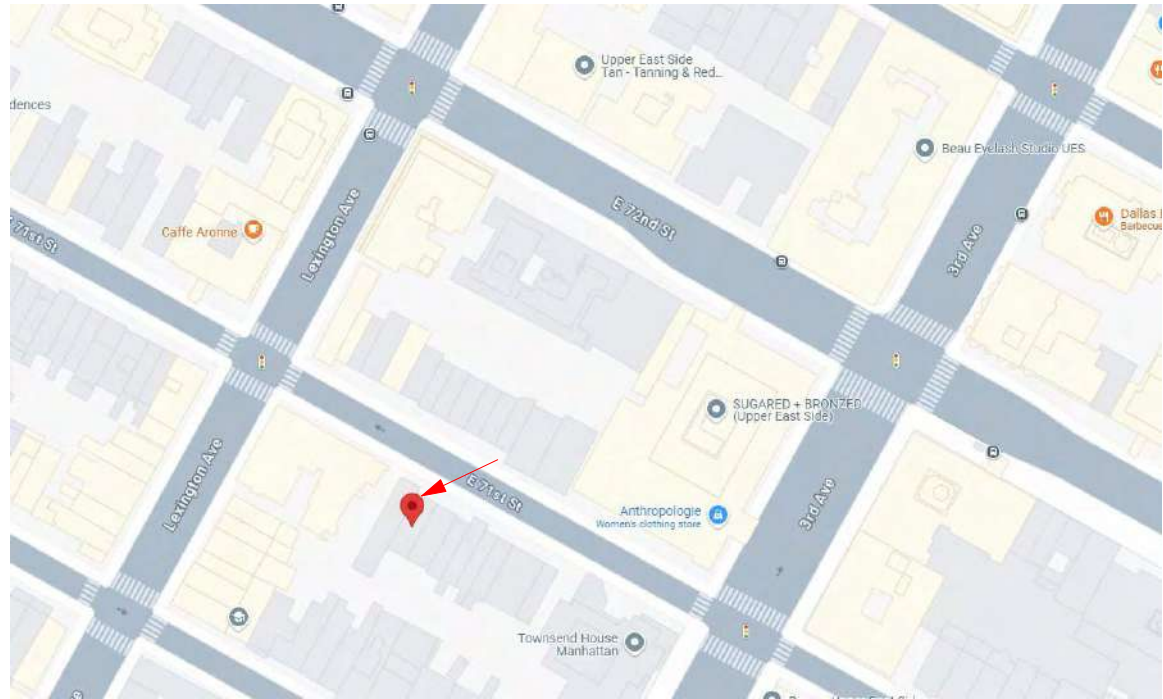
ROOF VISIBILITY ANALYSIS -  
SORROUNDINGS

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE	DATE	JOB NO.	07/31/24
	SCALE:	AS NOTED	
	DRAWING NO.:		

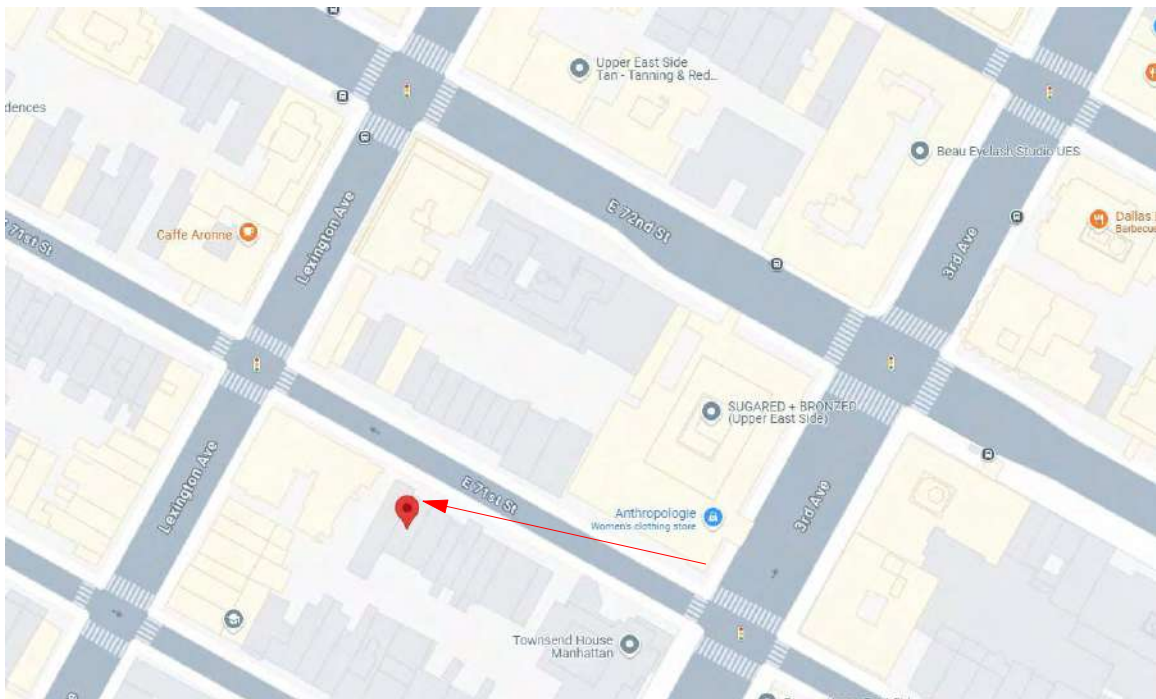


L-304.00





VIEW FROM NORTHEAST - NO ROOFTOP EXTENSION VISIBILITY



VIEW FROM ACROSS 3RD AVENUE FROM THE OPPOSITE SIDEWALK - ROOFTOP EXTENSION MIGHT BE VISIBLE BUT COULDN'T BE ASSESSED WITH NAKED EYE



HIGHLY ZOOMED IN PHOTO WITH OUTLINE OF POTENTIALLY VISIBLE ROOF EXTENSION OBSCURED BY TREE BRANCHES



## 156 E 71 ST

156 EAST 71 STREET

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### LANDMARKS SUBMISSION

01/06/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

ROOF VISIBILITY ANALYSIS -  
FROM LEXINGTON AVENUE

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE		DATE	07/31/24
		JOB NO.:	0147
		SCALE:	AS NOTED
		DRAWING NO.:	



L-305.00



# CHEMICALLY REMOVING PAINT FROM BRICK MASONRY

## PART 1---GENERAL

## 1.01 SUMMARY

- This procedure includes guidance on chemically removing paint from and repainting brick masonry.
- NOTE: Sandblasting is not recommended by the secretary of the interior's standards for rehabilitation and shall not be used. High-pressure water blasting is also not recommended without adequate testing or experience as it may erode soft brick and drive moisture into the wall.
- B. Brick, properly fired, is a durable surface which does not need a sacrificial coating such as paint, to protect it. Painting often creates long term maintenance problems. However, brick that has been painted, is usually NOT properly fired and needs the protection provided by the application of paint. Furthermore, brick which has been damaged by abrasive cleaning may require painting in order to seal the masonry from excessive water penetration which, if not protected, can lead to further deterioration of the masonry.
- C. Safety Precautions:
- CAUTION: chemicals often used to remove paint are highly caustic to flesh and toxic.
1. Both acids and alkalis are used in the cleaning process. The wrong type of acid can burn and/or dissolve both the brick and the mortar. Adjacent and imbedded materials, i.e. glass or iron cramps, can also be damaged.
  2. Failure to properly neutralize the chemicals, or inadequate rinsing can cause salts, stains and other residues to remain on the surface of the brick, residues which may be impossible to remove.
- D. Historic Structure Precautions:
1. Masonry buildings were sometimes painted from the start. A study of all of the paint layers should be conducted to determine what were the original colors and if any special treatments were used.
  2. For buildings in which all paint is to be removed, retain small representative areas of paint to provide a paint history of the building for future research.
  3. An archives of the paint history of the building is to be maintained. This is to include any paint samples taken during research samples of the new paint colors and the manufacturer's technical information.
- E. See 01100-07-S for general project guidelines to be reviewed along with this procedure. These guidelines cover the following sections:
1. Safety Precautions
  2. Historic Structures Precautions
  3. Submittals
  4. Quality Assurance
  5. Delivery, Storage and Handling
  6. Project/Site Conditions
  7. Sequencing and Scheduling
  8. General Protection (Surface and Surrounding)
- These guidelines should be reviewed prior to performing this procedure and should be followed, when applicable, along with recommendations from the Regional Historic Preservation Officer (RHPO).
- F. For general information on the characteristics, uses and problems associated with paint, see 09900-04-S. See also 09900-07-S for other guidelines pertaining to paint removal and application.

## 1.02 SUBMITTALS

- A. Samples:
1. Under the supervision of the RHPO, test panels, using the appropriate cleaning methods, shall be done to determine the best method to remove paint. The "best method" shall be defined as that which successfully removes the paint with no, or minimal, damage to the masonry substrate.
  2. Testing shall be done in nonobtrusive locations on each building exposure. The methods used, their application, etc. shall be in accordance with manufacturer's instructions and shall duplicate those procedures proposed for the overall paint stripping process. The RHPO shall select the test areas and shall conduct a thorough evaluation of each method after paint removal is complete to determine the best method for the overall stripping.
  3. The testing shall include an evaluation of the materials and techniques proposed for the protection of surrounding areas from the chemicals used to strip the paint. Especially important is an evaluation of the method to be used to collect the cleaning effluent.
  4. A representative of the cleaning materials manufacturer(s) (or for proprietary cleaning systems) shall be present during the preparation and application of the test areas.

### 1.03 PROJECT SITE CONDITIONS

- A. Environmental Requirements:
1. To prevent water in the masonry from freezing, no paint stripping shall be done if temperatures are expected to fall below 40-48 degrees (F) during the stripping process, or within 24 hours of completing the stripping. If allowed by the chemical manufacturer, heated rinse water may be used if lower temperatures are expected.
  2. No cleaning shall be conducted during periods of strong winds when the chemicals may be spread to adjacent unprotected surfaces.
  3. Unless otherwise recommended by the paint manufacturer, the ambient temperature shall be between 50-58 degrees (F.) and 95-98 degrees (F.) Do not apply paints when the temperature is expected to fall below 50-58 degrees (F) during the first 24 hours after application.
  4. Do not apply any of the coats of paint in the direct sun. It shall be applied only when the surface to be painted is in the shade and the sun is shining on the opposite elevation. The west elevation should be painted in the morning when the sun is shining on the east elevation; the north elevation should be painted around noon when the sun is shining on the south elevation; the east elevation should be painted in the afternoon when the sun is shining on the west elevation; and the south elevation should be painted late in the afternoon when it is in full shade.
  5. Do not apply paint to damp surfaces, in misty or rainy weather, in the snow or where there is visible ice or frost on the surfaces.

## PART 2---PRODUCTS

## 2.01 MANUFACTURERS

- A. Proprietary Chemicals: (one of the following, or approved equal)
1. ProSoCo, Inc. [a nongovernment website], Lawrence, KS 66117, 800-255-4255
  2. Diedrich Technologies Inc. [a nongovernment website], Schenectady, NY 12303, 800-283-3888
  3. Hydrochemical Techniques, Inc. P.O. Box 2078, Hartford, CT, 06145, 800-278-7681, info@hydroclean.com
  4. Dumond Chemicals, Inc [a nongovernment website] West Chester, PA (corporate office), 800-245-1191 or 609-655-7700, info@dumondglobal.com

## 2.02 MATERIALS

- A. Off-the-Self Chemical Paint Removers:
1. Semi-paste, water rinsing, non-benzol removers such as Strypeeze Semi-paste, or approved equal.
    - a. Characteristic orange color.
    - b. Will work on both latex and oil-based paints, lacquers and varnishes.
    - c. Cling well to round or vertical surfaces. Form an anti-evaporative film as they dry.
  2. Non-flammable, heavy bodied, methylene-chloride based removers such as Superstrip Nonflammable, Zip Strip, or approved equal.
    - a. Good for interior use because they are non-flammable.
    - b. Will soften oil-based paints, lacquers, varnish and synthetic baked finishes.
    - c. Because they are so heavy bodied they will cling to vertical and irregular surfaces.
  3. Cornstarch or fumed silica to further thicken chemicals so they will adhere to vertical surfaces.  
-OR-  
One of the following proprietary paint strippers, or approved equal:
    - a. Sure Klean Heavy Duty Paint Stripper (ProSoCo, Inc.)
    - b. Sure Klean 858 Stripper (ProSoCo, Inc.)
    - c. Blok-Guard & Graffiti Control II (ProSoCo, Inc.)
    - d. Envirostrip Paint Remover (Diedrich Technologies)
    - e. 505 Special Coatings Stripper (Diedrich Technologies)
    - f. 606, 606X Caustic Multi-layer Paint Remover (Diedrich Technologies)
    - g. Heavy Duty Paint Remover (Hydroclean)
    - h. Peel Away 1.2 (Dumond Chemicals, Inc.)
- B. Clean, potable water to remove chemical residue.
- C. Phenolphthalein: Used to test pH of a surface after stripping with chemicals or any alkaline product. Available at some drug stores or chemical supply houses.
- D. Clean, clear white vinegar or other appropriate neutralizer such as Sure Klean Restoration Cleaner (ProSoCo, Inc.), 101 Masonry Restorer/Cleaner (Diedrich Technologies), or approved equal.
- E. Paint: from the same manufacturer and appropriately suited for the conditions.
- CAUTION: DO NOT USE A VAPOR-IMPERMEABLE PAINT ON SURFACES THAT MIGHT HOLD DAMP FROM GROUND OR THROUGH WALLS SUCH AS BADLY-PITTED BRICK CAUSED BY SANDBLASTING.**

### 3.03 EQUIPMENT

- A. Paint scrapers  
B. Putty knives  
C. Stiff bristle brushes to remove loose, flaky paint  
D. Natural fiber cleaning brush  
E. Synthetic fiber brush  
F. Rollers, and/or spray equipment as appropriate and a recommended by paint stripper manufacturers for the application of their various products. Not all types of brushes, etc. are appropriate for all chemicals.  
G. Protective sheeting and duct tape may be necessary to cover the stripper during dwell time as it evaporates quickly.  
H. Scrapers and/or pressure rinsing equipment to remove sludge.  
I. Nylon bristle brushS Garden hose

### PART 3---EXECUTION

### 3.01 EXAMINATION

- B. Before work is begun on removing the existing paint film or otherwise preparing the surface, all flashing, gutters and downspouts shall be inspected and repaired or replaced as required.

### 3.02 PREPARATION

- A. Surface Preparation: Repoint any open mortar joints to prevent water and chemicals from entering the wall structure.

### 3.03 ERECTION, INSTALLATION, APPLICATION

- Paint Removal:**
1. Manually scrape all loose paint and efflorescence using paint scrapers, putty knives or stiff bristle brushes. If the mortar and bricks are quite crumbly, use a softer brush.
  2. Apply an off-the shelf methylene chloride-based paint remover (for small surface areas):
    - a. Thicken stripper with cornstarch as necessary.
    - b. Apply stripper to the surface by brush.
    - c. Cover with plastic wrap or keep misted to prevent chemical from drying out before it has had time to soften paint film.
    - d. When Paint film is softened, rinse surface completely using a garden hose or pressure washing equipment. Use the lowest pressure which will remove paint and paint remover - usually about 300 to 500 psi, but no higher than 800 psi and only on approval of RHPO. HIGH PRESSURE WATER BLASTING IS NOT RECOMMENDED. Supplement rinsing as necessary with a wood or plastic scraper. Repeat if required to remove all paint. -OR-
  3. Apply a proprietary chemical paint remover (for large surface areas):
    - a. Apply chemical paint remover with a brush, roller or appropriate spray equipment as directed by manufacturer. Pressure application of paint stripping materials shall not be done as it tends to drive the chemicals too far into the brick and mortar making it impossible to remove all residue. Final dilution ratio to be determined by test patches done prior to removal process.
    - b. Allow the stripper to stay on the brick as directed by the manufacturer and as determined by test patches.
    - c. Rinse completely with clean, fresh water using pressure washing equipment to remove all paint and residue. Maintain water pressures as recommended by chemical manufacturer and RHPO.
    - d. Apply a second coat of paint stripper if necessary to remove remaining paint, again following manufacturer's instructions.
    - e. Rinse completely again and apply aftershave as recommended by chemical manufacturer.
  4. After paint has been removed, but before brick dries, apply neutralizer such as white vinegar, or a proprietary chemical neutralizer. A neutral Ph (7 pH) should be achieved before repainting.
  5. Allow neutralizer to stand on wall about three minutes before rinsing. **DO NOT LET IT DRY!**
  6. Thoroughly rinse the surface with clean, clear water.
  7. Test the pH with litmus paper or phenolphthalein:
    - a. Dissolve a 2" piece of phenolphthalein in denatured alcohol.
    - b. Brush the solution onto the surface. If it turns a shade from pink to magenta there is still chemical residue.
  8. Continue to neutralize the surface and test until there is no color change in the phenolphthalein solution or the litmus paper registers neutral.

156 E 71 ST

156 EAST 71 STREET

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## LANDMARKS SUBMISSION

01/06/2025

DOB APPLICATION NO.: B01026912-I1

DOB EXAMINER - SEAL &amp; SIGNATURE


DATE	REVISION

PROJECT

156 EAST 71 STREET

**TITLE**

## APPENDIX

ZONING DISTRICT	R8B	BLOCK	1405
ZONING MAP	8C	LOT	47
SEAL & SIGNATURE		DATE	07/31/24
		SCALE	1/4" = 1'-0"
		SCALE	AS NOTED
		DRAWING NO.:	

L-401.00